For definitions of proper nouns used in these general notes (i.e. Owner, Architect, Contractor, Work, etc.), refer to AIA Document A201-2007 General Conditions of the Contract for Construction.

1. All work and materials furnished shall comply with ALL applicable building codes, including, but not limited to The State of Kansas Regulations, the regulations of the National Board of Fire Underwriters, National Fire Protective Association Requirements and all Federal, State, and Municipal authorities having jurisdiction over the work and the INTERNATIONAL BUILDING CODE (IBC)- 2003.

2. Contractor is responsible for securing and obtaining all necessary permits, approvals, and inspections and paying all applicable fees for all Subcontractors.

3. Contractor must comply with all appropriate municipal and regulatory agencies, codes and requirements. The contractor shall submit certificates of insurance in accordance with building requirements and shall include a hold harmless clause for the owner, building management, and the Architect.

Contractor shall provide controlled inspections as required for the City Building Department approval. All controlled inspections are to be performed by licensed professionals and the cost of these services is to be paid by the contractor.

5. The submission of a proposal by the Contractor will be construed as evidence that a careful and thorough examination of the premises has been made and later claims for labor, materials or equipment required or for difficulties encountered, which could have been foreseen had such an examination been made, will not be recognized. The submission of a proposal by the Contractor shall also constitute a representation that the Contractor has checked and verified all quantities, work and materials involved and that he or she shall take responsibility or any deficiencies therein.

6. Before ordering any materials or doing any work, each Subcontractor shall verify all measurements at the building and shall be responsible for correctness of same. No extra charge or compensations will be allowed on account of any difference between actual dimensions and the measurements indicated on the drawings; any discrepancies between the drawings and field conditions which may be found shall be submitted to the Architect for consideration and clarification before proceeding with the work. The Contractor shall be responsible for any deviations from the Contract Documents.

7. All the Architect's drawings and construction notes are complimentary and what is called for by either will be binding as if called for by all; any work shown or referred to on any one drawing shall be provided by the Contractor as shown on all drawings. Whenever an item is specified and/or shown on the drawings by detail or reference it shall be considered typical for other items which are obviously intended to be the same, even though not so designated or specifically named but do serve the same function.

8. Full size or large scale details or drawings shall govern small scale drawings which they are intended to amplify. Details or conditions indicated for a portion of the work but not carried out fully for other portions shall apply throughout to all similar portions except as otherwise specifically noted. In every case a more expensive item or method shall be assumed over a less expensive one and dimensions shall be figured rather than determined by rule or scale.

9. The character and scope of the Work are illustrated by the Drawings. To interpret and explain the Drawings, other information deemed necessary by the Architect will be furnished to the Contractor when and as required by the Work. It is to be understood that the said additional drawings are to be of equal force as the original drawings, and shall be considered as forming a part of this set.

10. The Contractor shall abide by and comply with the true intent and meaning of the drawings and notes taken as a whole and shall not avail himself or herself of any obvious errors or omissions, should any exist. Should any error or discrepancy appear or any doubt arise as to the true meaning of the drawings or notes, the contractor shall bring such items to the attention of the Architect before submission of a bid or proposal for explanation or correction of same. After the submission of proposal, the contractor will be held responsible for all such items.

11. The work to be performed consists of furnishing all labor, equipment, tools, ransportation, supplies, fees, materials, and services in accordance with these General Notes and Construction Documents; and includes performing all operations necessary to construct and install complete, in satisfactory condition, the various materials and equipment at the locations shown within the Construction Documents. It is intended that the drawings include everything requisite and necessary to finish the entire work properly, notwithstanding the fact that every item necessarily involved may not be specifically mentioned or shown. Any item which may be reasonably construed as incidental to the proper and satisfactory completion of the work in accordance with the intent of these notes and drawings is hereby included.

12. The contractor shall notify the Architect immediately if he cannot for any reason comply with all the requirements of these General Notes and Construction Documents.

13. The contractor shall submit in writing all proposals for additional work to the Architect for review and approval. No additional work by the Contractor or its agents is to proceed until a signed authorization to proceed is returned to Contractor.

14. Work affected by changes proposed in any revised drawings or other documents issued to the Contractor shall not be executed unless changes are accompanied by letter of authorization from the owner to proceed accordingly. In cases where instructions accompanying an issue of revised drawings or specifications request estimates of cost, such estimates shall be prepared and submitted promptly to the owner in order not to affect the progress of the work.

15. Payment will not be made to the Contractor on changes or extras unless they are approved in writing by Owner or Owner's Representative.

16. The Project has been designed and detailed for the specific materials and equipment specified. No substitutions shall be made without the express written consent of the Architect. If the specified material is not available, the contractor shall propose an alternate material and shall provide drawings, samples, specifications, manufacturer's literature, performance data, etc., in order that the Architect can evaluate the proposed substitution. If the substitution affects a correlated function, adjacent construction, or the work of any other contractor or trade, the necessary changes and modifications to the affected work shall be accomplished by the contractor at no additional expense to the owner. No requests for substitutes will be entertained by the Architect due to contractor's failure to order materials in a timely manner.

17. All materials required for the performance of this work shall be new and of the best quality of the kinds specified. The use of old or second-hand materials is strictly forbidden, except for locations on the drawings that refer to removal and relocation of materials or equipment. All materials shall be used in accordance with the manufacturer's specifications. The Contractor shall submit all product warranties. The Contractor shall warranty all work as per state and/or local jurisdiction regulations. Upon property: request, the manufacturer's representative shall go to the site and instruct the mechanics in the use of the materials or shall supervise their use.

18. The standard specifications of the manufacturers approved for use in the project are hereby made a part of these notes with the same force and effect as though herein written out in full, except that wherever the drawings require heavier members, better quality materials or are otherwise more stringent, those more stringent requirements shall govern.

19. The Contractor shall submit all fabrication shop drawings, samples, and fixture cuts for the Architect's review as required and/or indicated on the drawings. The Architect's review shall not be constructed as an indication that the submittal is correct or suitable nor that work represented by submittal complies with the drawings, except as to the matters of finish, color, and other aesthetic matters. The duties noted above do not relieve the Contractor from responsibility to coordinate all trades and to check quantities and dimensions against conditions in the field. Contractors shall assume responsibility for all errors on their drawings.

20. The Contractor shall submit all shop drawings, complete with manufacturer's equipment cuts, for approval by the Architect prior to commencement of work.

21. When "approved equal", "equal to", or other general qualifying terms are used it shall be based upon the review and approval by the Owner or the Owner's Representative. No material substitutions shall be made without first informing the Owner. Submit substitute materials specifications and samples to the Architect for approval, in writing prior to commencement of work.

22. Any materials delivered or work performed, contrary to the drawings and specifications and approved shop drawings, shall be removed by the Contractor at his own expense, and the same shall be replaced with other materials or work satisfactory to the Architect. The Contractor shall also assume the cost of replacing the work which may be disturbed by the Contractor.

23. The Contractor shall be responsible for properly and accurately laying out the work and for the lines and measurements herein. The contractor shall establish necessary reference lines and permanent bench marks from which building lines and elevation shall be taken. Heights of all work called for "A.F.F." including but not limited to soffits, ceilings, doors, and hollow metal shall be true and level within a maximum tolerance of 1/8" overall throughout the entire project.

24. All HVAC, plumbing, sprinkler and electrical lines are to be coordinated so that no conflicts occur. Any conflicts which result in a relocation of a finished surface must be brought to the attention of the Architect/Engineer prior to installation.

25. Unless otherwise noted, the Contractor shall provide a one-year warranty covering all work performed and equipment installed, from the time of Substantial Completion.

26. Contractor shall carefully remove and protect items indicated by the Owner or in the Construction Documents to be saved for re-use.

27. The Contractor shall keep the Architect informed of the progress of the Work. No work shall be closed or covered until it has been duly inspected and approved. Should uninspected work be covered the contractor shall, at their own expense, uncover all such work so that it can be properly inspected and after such inspection, shall properly be repaired and replaced.

28. All work shall be subject to final inspection by the Architect and acceptance by the Owner.

29. Contractor is responsible for the safety and protection of workers, public, and property. 30. A copy of the latest signed and sealed set of Construction Documents shall be kept at the

job site for review by the Owner, the Owner's Representative, the Architect, or inspectors.

31. The Contractor shall have a competent superintendent on the premises at all times when the work is in progress.

32. All plumbing and electrical work shall be performed by persons licensed in their trades.

33. The Contractor shall coordinate their own work with the work of all other Contractors and Subcontractors, whether their own or those on separate contract. Prior to commencing work, the Contractor shall provide a work schedule to show estimated commencement and completion dates of each trade and also identifying long lead items. Contractor shall be esponsible for giving all trades such information, plans or details as may be required for the proper installation of their work. All materials shall be ordered sufficiently ahead of time so that work can proceed on schedule. No substitution of materials will be accepted because of failure to do order material on time.

34. The owner reserves the right to let other contacts in connection with the work of the project. The contractor shall be responsible for coordination of work with other contractors. The contractor shall afford other contractors reasonable opportunity for the introduction and storage of their materials and equipment and the execution of their work.

35. The Contractor is responsible for the following conditions: A. The premises and the job site shall be maintained in a reasonably neat and orderly condition and kept free from accumulations of waste materials and rubbish during the entire construction period. Remove crates, cartons and other flammable waste materials or trash from the work areas at the end of each working day. Contractor to control cleaning to prevent dirt or dust from leaving the job site and infiltrating areas not involved in the project. No material or debris storage shall be permitted at the street or sidewalk at any time.

B. Electrical closets, pipe and duct shafts chases, furred spaces and similar spaces shall be cleaned and left free from rubbish loose plaster, mortar drippings, extraneous construction materials, dirt and dust.

C. Contractor shall protect and be responsible for the existing structure, facilities and improvements adjoining the area under this contract. Any disturbance or damage to adjoining property resulting directly or indirectly from the contractor's operation shall be promptly restored, repaired or replaced to the satisfaction of the client at no additional cost.

D. Clean up immediately upon completion of each trade's work.

E. This cleaning includes the removal of trash and rubbish from these areas, broom cleaning of floors, the removal of any plaster, mortar, dust and other extraneous materials from finish surfaces, including but not limited to miscellaneous metal, woodwork, plaster, glass, gypsum drywall, masonry, concrete, mechanical and electrical equipment, piping ductwork, conduit, and surfaces visible after permanent fixtures, induction unit covers, grilles, registers, and other such fixtures or devices are in place.

F. In addition to the cleaning specified above and the more specific cleaning which may be required in various sections of the specifications the premises shall be prepared for occupancy by:

(i) a thorough cleaning throughout including washing or cleaning by other approved methods of all floors and surfaces on which dirt or dust has collected and by washing glass, removing all paint, foreign material, and stains thereon.

(ii) providing and maintain adequate runner strips of non-staining reinforced kraft building paper on finished floors as required for protection.

(iii) leaving all fixtures and equipment in an undamaged, bright, clean, polished condition.

(iv) clean and polish all hardware and all other metal work.

(v) do all other cleaning as required to turn the premises over to the owner in a spotless and orderly condition.

36. The Owner reserves the right to accept or refuse any bids/proposals from any Contractor or Subcontractor without exception.

37. The Contractor is Responsible for the following conditions related to safety of public and

A. Institute and maintain safety measures and provide all equipment or temporary construction necessary to safeguard all persons and property affected.

B. Structures, devices, or construction equipment shall not be loaded in excess of their design capacity.

C. Before using construction equipment or devices, same shall be inspected by the person superintending the work, and defects or unsafe conditions shall be promptly corrected before

D. Determine location, protect and safeguard all utilities on or adjacent to site. Notify all utility companies and building management as required.

E. Maintain fire preventive, sanitary and safety facilities.

F. All machines, tools, service lines and conduits shall be shielded or barricaded to provide safety and prevent contact by the public.

G. No materials shall be dropped or thrown outside the exterior walls of the building

 Areas used by the public shall be maintained free from debris, equipment, materials.

**CLIENT:** 

2000 W. 47th Place, Westwood, KS 66205

TANNER & WHITE

Blair Tanner blair@tannerwhiteproperties.com

Tanner & White Properties, Inc.

1545 Stone Canyon Road

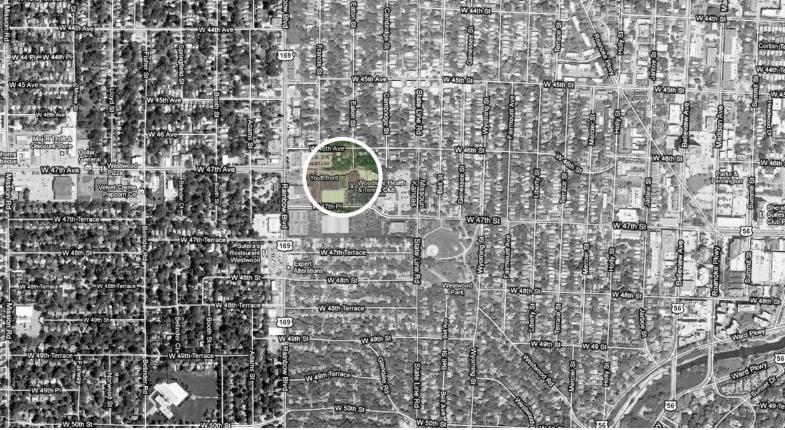
Tel: 310-476-7500

Fax: 310-476-7501

Contacts:

Los Angeles, California 90077

**PROJECT LOCATION (NTS):** 









321 West 40th Street Kansas Citv. Missouri 64111 Tel: 816-531-0200 Fax: 816-531-0201

Contacts: Matthew Hufft Kimball Hales Jonathan Tramba

matthew@hufft.com kimball@hufft.com jonathan@hufft.com

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# Woodside Health and Tennis

2000 W. 47th Place, Westwood, KS 66205

## SCHEMATIC DEVELOPMENT PACKAGE | August 19th, 2011

#### SHEET INDEX

CHI	TECTURAL:	STRUCTURAL
00	COVER SHEET	
01	NOTES	
01	SITE PLAN - WOODSIDE COMPLEX	
02	SITE PLAN - WOODSIDE HEALTH AND	
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01	LOWER LEVEL KEY PLAN	
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03	LOWER LEVEL PLAN	MECHANICAL
04	UPPER LEVEL PLAN	
01	ELEVATIONS	
01	SECTIONS	

CHANICAL, ELECTRICAL, AND PLUMBING:

#### **BUILDING DATA:**

DOPTED CODES:
uilding Codes: 103 International Building Code (IBC) 103 International Existing Building Code (IEBC) 103 International Fuel Gas Code (IFGC)
umbing Code: 103 International Plumbing Code (IPC)
echanical Code: 103 International Mechanical Code (IMC)
ectrical Code: 02 National Electric Code (NEC)
re Prevention: 103 International Fire Code (IFC)
ther Codes:

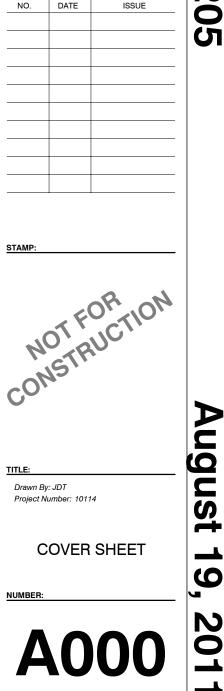
<b>BUILDING DATA:</b>	
Use Groups:	
Fitness Club	A-3
Parking Garage	S-2
Type of Construction:	-
Sprinklered:	Sprinklered
Number of Stories:	2
Occupancy Load*:	
Lower Level:	445
Main Level:	303
Total:	748
Required Exits:	-
EXISTING BUILDING GROSS SO	QUARE FOOTAGES:
LOWER LEVEL:	13,444 S.F
MAIN LEVEL:	13,089 S.F.
UPPER LEVEL:	1,304 S.F.
TOTAL:	27,837 S.F.
PROPOSED ADDITION	
AT ENTRANCE:	821 S.F.
TOTAL WITH ADDITION	
AT ENTRANCE:	28,658 S.F.
NEW ADDITION GROSS SQUAR	RE FOOTAGES:
LOWER LEVEL:	21,584 S.F.
MAIN LEVEL:	17.843 S.F.
TOTAL:	39,427 S.F.
NEW ADDITIONAL PARKING S.	F. / STALL COUNT:
NEW PARKING	
(BELOW TENNIS COURTS):	58,663 S.F. / 161 CARS
NEW PARKING	
(SURFACE):	30.095 S.F. / 65 CARS
TOTAL:	88,758 S.F. / 226 CARS
	· ·

\*See A001 for occupancy loads of individual spaces.

This drawing has been prepared under the architect is supervision. The architect is supervision, or this and is subject matter contained herein is and receipt or posses on of this information, and any drawing sor documents under the architect is subject matter construction, existing building structure, e



Kansas City, MO 6411 Tel: 816-531-0200 Fax: 816-531-0201 www.hufft.com



REVISION SCHEDU

#### **ABBREVIATIONS:**

1

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<u>ABB</u>	<b>REVIATIONS:</b>
	YMBOLS
&	And Angle
@	At Centerline
[	Channel Diameter or Round
#	Number or Pound Per
	Perpendicular or Structural
	Plate Plus or Minus
	Square Foot (feet) Times
A ACOUS	TAcoustical
AD ADH	Area Drain Adhesive
ADJ	Adjustable
AFF AHU	Above Finished Floor Air Handling Unit (Re: Mech.)
ALUM ALT	Aluminum Alternative
AP APPRO	Access Panel XApproximate
APPD ARCH	Approved
ASPH	Asphalt
A/V B	Audio/Visual
BEY BD	Beyond Board
BK BLDG	Brick Building
BLDK	Blocking
BM BO	Beam By Others
BOT BRG	Bottom (of) Bearing
BSMT BTWN	Basement Between
BRKT	
C	CB Chalk Board
CC CG	Center to Center Corner Guard
CI CIP	Cast Iron Cast-In-Place
CJ CLG	Control Joint Ceiling
CLO CMU	
CO	Cleanout
	Combination
	Concrete Connection
	RConstruction Continuous
CONTR	Contractor
CSK	Corridor Countersunk
CTR D	Center
DBL DCMU	Double Decorative Concrete Masonry Unit
DEPT DF	Department Drinking Fountain
DIA DIAG	Diameter Diagonal
DIM	Dimension
DN DR	Down Door
DS DTL	Down Spout Detail
DWG(S E	) Drawing(s)
E EA	East Each
EJ	Expansion Joint
EL ELEC	Elevation Electrical
ELEV ENG	Elevator Electronic News Gathering
EOS EQ	Edge of Slab Equal
EQUIP EWC	Equipment Electric Water Cooler
EXH EXP	Exhaust
EXIST	0
EXT F	Exterior
FA FD	Fire Alarm Floor Drain
FND FE	Foundation Fire Extinguisher
FEC FF	Fire Extinguisher Cabinet
FH	Fire House
FFE FHC	Furnishing, Fixtures and Equipment Fire Hose cabinet
FIXT FVC	Fixture Fire Valve Cabinet
FIN FL	Finish Floor
FLASH FOC	
FOF	Face of Finish
FOS FS	Floor Sink
FT	۸)Frame Foot or Feet
FTG FURR	Footing Furring
FV	Field Verify

G GA	Cauga	
GALV	Gauge Galvanized	F
GB GC	Grab Bar General Contractor	F F
GEN	General	F
GFRC GL	Glass Fiber Reinforced Concrete Glass	F
GPM	Gallons per minute	F
GR GWB	Guardrail Guasum Board	F
GYP	Gypsum Board Gypsum Board	F
H		F
HB HC	Hose Bibb Hollow Core	F
HCP	Handicapped	F
HD HDW	Head Hardware	F
HDWD	Hardwood	F
HDWR	Hardware	S
HEWC HLAV	Handicap Electric Water Cooler Handicap Lavatory	S
HM	Hollow Metal	S
Horiz Hr	Horizontal Handrail	S
HT	Height	S
HYD	Hydrant	S
IC	Intercom	S
ID	Inside Diameter/Dimension	S
IN INDIV	Inch Individual	S
INFO	Information	S
INSUL INT	Insulation Interior	S
J	Interior	S
	Janitor	S
JST JT	Joist Joint	S
K		S
KIT KO	Kitchen Knockout	S
L	Millockout	S
L LAM	Long/Length Laminate	S
LAW	Lavatory	T T
LGTH	Length	Т
LKR LT	Locker Light (Lighting)	T T
LWC	Light Weight Concrete	Ť
M M	Meter	T T
MAS	Masonry	T
	Masonry Block	Т
MATL MAX	Material Maximum	T T
MECH	Mechanical	Т
MFG MFR / M/	Manufacturing ANUF Manufacturer	T T
MH	Manhole	Ť
MI MIN	Mirror Minimum	Т
MISC	Miscellaneous	l
MO	Masonry Opening	ι
MTD MTG HT	Mounted Mounting Height	L V
MTL	Metal	۷
MULL N	Mullion	V
N	North	V
N/A NIC	Not Applicable Not in Contract	V
NO	Number	v
NOM NPS	Nominal National Pipe Standard	V
NTS	Not To Scale	V
0	0	۷
OA OC	Overall On Center	V
OD	Outside Diameter/Dimension	V
OFF OH	Office Opposite Hand	V
OPNG	Opening	۷
OPP ORD	Opposite Overflow Roof Drain	V V
OTS	Open to Structure	v
OH OZ	Overhead	۷
OZ P	Ounce	X
PA	Public Address	Y
PAR PART	Parallel Partition	Y
PC	Precast Concrete	
PCP PERP	Portland Cement Plaster Perpendicular	
PL	Property Line	
PLAM PLAS	Plastic Laminate Plaster	
PLBG	Plaster Plumbing	
PLYWD	Plywood	
PLNG PNL	Panelling Panel	
POL	Polished	
PR PSF	Pair Per Square Foot	
PSI	Per Square Inch	
PREFAB PSS	Prefabricated Photostrobe Sync Place	
PSS PT	Point	
PTD	Painted	
Q QTY	Quantity	
	-	

R	
R	Riser or Radius
RA	Return Air
RCP	Reflected Ceiling Plan
RD	Roof Drain
RE RECP	Reference
REF	Receptacle Refrigerator
REFL	Reflected
REINF	Reinforced
REQ'D	Required
RFG	Roofing
REV	Revision
RM	Room
ro Rtu	Rough Opening Roof Top Unit (Re: Mech)
S	
S	South
SAN	Sanitary
SC	Solid Core
SCHED	Schedule
SECT	Section
SF (SQ F SH	FT) Square Foot (Feet) Shower
SHT	Sheet
SIM	Similar
SMLS	Seamless
SP	Spacing
SPEC	Specification
SPHD	Sprinkler Head
SPKR SPLKR	Speaker Sprinkler
SQ	Square
SS	Stainless Steel
STD	Standard
STL	Steel
STO STBUCT	Storage Structure/Structural
	Suspended
	D) Square Yard(s)
SYM	Symmetrical
SYS	System
T T	Trood
Т	Tread Top and Bottom
T T&B	Top and Bottom
T T&B T&G TEL	
T T&B T&G TEL TEMP	Top and Bottom Tongue and Groove Telephone Tempered
T T&B T&G TEL TEMP TOC	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete
T T&B T&G TEL TEMP TOC TOD	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck
T T&B T&G TEL TEMP TOC TOD TOM	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry
T T&B T&G TEL TEMP TOC TOD	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW TRANS	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW TRANS TS	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW TRANS	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW TRANS TS TV	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOP TERM TOS TOW TRANS TS TV TYP U U	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical
T T&B T&G TEL TEMP TOC TOD TOM TOP TOW TOS TOW TRANS TS TV TYP U U U UNO	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise
T T&B T&G TEL TEMP TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U U U UNO US	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical
T T&B T&G TEL TEMP TOC TOD TOM TOP TOW TOS TOW TRANS TS TV TYP U U U UNO	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf
T T&B T&G TEL TEMP TOC TOD TOD TOP TERM TOS TOW TRANS TS TV TYP U U U U U U U U U U U U U U U U U U U	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf
T T&B T&G TEL TOC TOD TOD TOP TON TOP TON TON TON TON TON TON TON TON TON TON	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V V V V V V V V V V V V V V V V V V	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VB (VPR VENT VERT VEST VTR	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V V V V V V V V V V V V V V V V V V	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VB (VPR VENT VERT VERT VEST VTR VCT	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U UNO US V VB (VPR VENT VERT VERT VERT VERT VERT VEST VTR VCT VWC W W	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width
T T&B T&G TEL TEMP TOC TOD TOP TERM TOP TERM TOS TOV TRANS TS TV TYP U U UNO US V VENT VERT VERT VERT VERT VERT VERT VEST VTR VCT VWC W W WC	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U UNO US V VB (VPR VENT VERT VEST VERT VEST VCT VWC W W WC W/	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With
T T&B T&G TEL TEMP TOC TOD TOP TERM TOP TERM TOP TERM TOP TRANS TV TYP U U UNO US V VENT VENT VERT VERT VEST VTR VCT VCT VWC W W WC W/ W/	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet
T T&B T&G TEL TOC TOD TOM TOP TERM TOS TOW TRANS TS TV TYP U UNO US V VB (VPR VENT VERT VEST VERT VEST VCT VWC W W WC W/	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Within
T T&B T&G TEL TEMP TOC TOD TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VTR VENT VENT VENT VERT VERT VCT VWC W W WC W/ W/O WD WDW	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Within Without Wood Window
T T&B T&G TEL TEMP TOC TOD TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VTR VENT VENT VERT VERT VERT VCT VWC W WC W/ W/O WD WDW WF	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Without Wood Window Wide Flange
T T&B T&G TEL TOC TOD TOP TOP TERM TOS TOV TRANS TV TYP U UNO US V VB (VPR VENT VERT VEST VEST VCT VCT VCT VCT VCT VCT VCT VCT VCT VC	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Without Wood Window Wide Flange Weight
T T&B T&G TEL TOC TOD TOP TERM TOS TOP TERM TOS TOP TERM TOS TOP TERM TOP TUUUNO US V VENT VENT VERT VEST VERT VEST VEST VEST VEST VEST VEST VEST VES	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Vall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Without Wood Window Wide Flange Weight Wall Hydrant
T T&B T&G TEL TEMP TOC TOD TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VTR VENT VENT VENT VENT VERT VERT VERT VCT VWC W W/U W/O W/D W/O WD W/D W/D W/O WD W/D W/O W/D W/O W/O W/O W/O W/O W/O W/O W/O W/O W/O	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Within Without Wood Window Wide Flange Weight Wall Hydrant Waterproof Structural T Section
T T&B T&G TEL TEMP TOC TOD TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VTR VENT VENT VENT VERT VERT VERT VERT VCT VWC W W/O W/O W/O W/O W/O W/O W/O W/O W/O W	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Within Without Wood Window Wide Flange Weight Wall Hydrant Waterproof Structural T Section
T T&B T&G TEL TEMP TOC TOD TOP TERM TOS TOW TRANS TS TV TYP U U UNO US V VTR VENT VENT VENT VENT VERT VERT VERT VCT VWC W W/U W/O W/D W/O WD W/D W/D W/O WD W/D W/O W/D W/O W/O W/O W/O W/O W/O W/O W/O W/O W/O	Top and Bottom Tongue and Groove Telephone Tempered Top of Concrete Top of Deck Top of Masonry Top of Parapet Terminate Top of Slab or Top of Steel Top of Wall Transformer Tube Steel Television Typical Urinal Unless Noted Otherwise Utility Shelf BR) Vapor Barrier Ventillation Vertical Vestibule Vent Thu Roof Vinyl Composite Tile Vinyl Composite Tile Vinyl Wall Covering West or Wide or Width Water Closet With Within Without Wood Window Wide Flange Weight Wall Hydrant Waterproof Structural T Section

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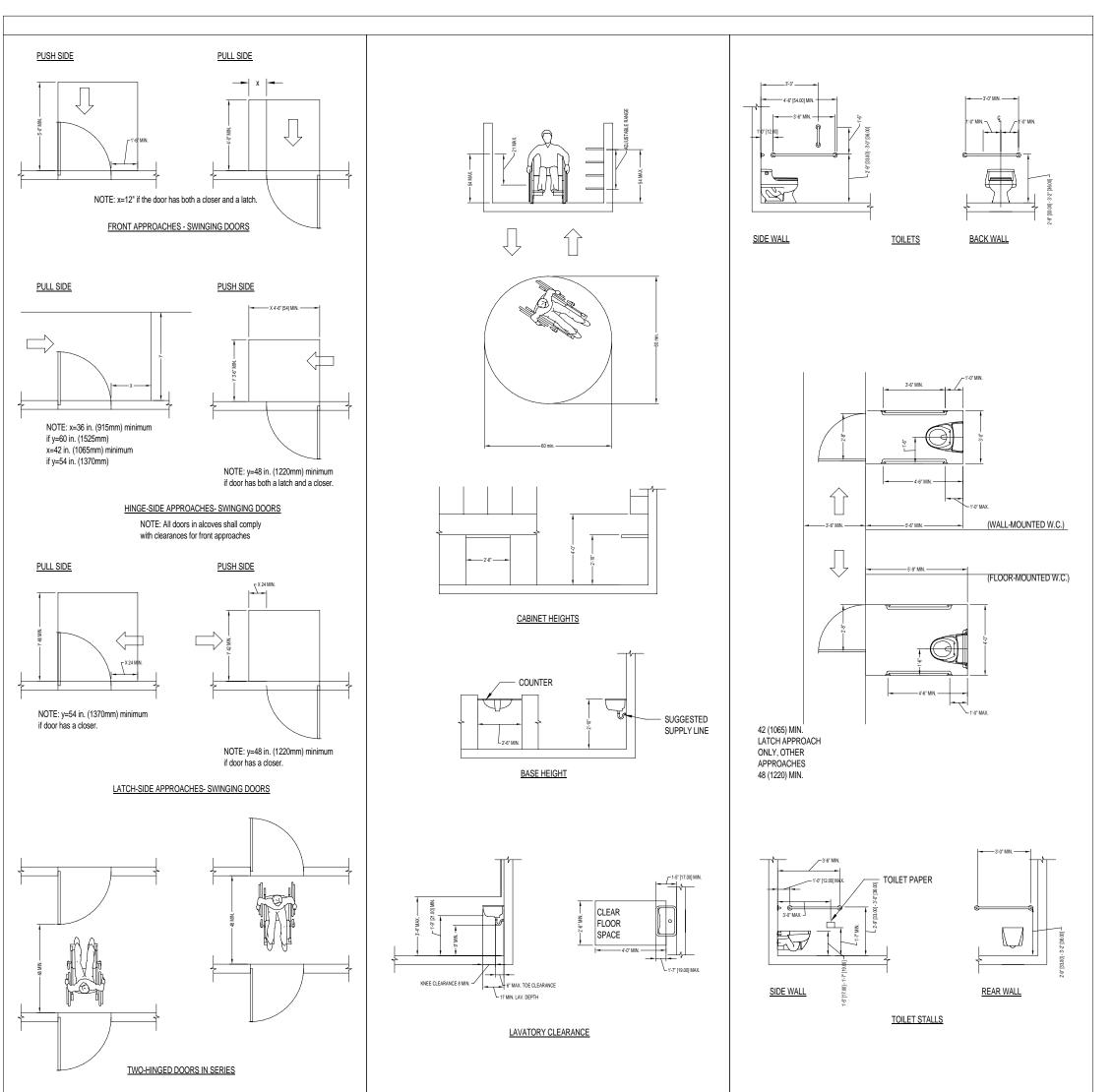
by (i.e. 2x4) YD

Yard

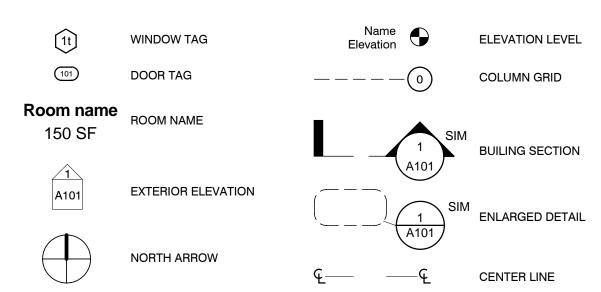
### **NEW CONSTRUCTION ROOM SCHEDULE/OCCUPANCY:**

NO.	NAME	AREA	OCCUPANT LOAD	OCCUPANCY
143	TREAT.	100 SF	100	1
144	TREAT.	102 SF	100	1
145	TREAT.	99 SF	100	1
146	TREAT.	142 SF	100	2
147	TREAT.	101 SF	100	2
148	PRO SHOP	329 SF		
			30	11
149	HALL	2918 SF		
150	OFFICE	Not Placed		
153	FITNESS EVAL.	264 SF		
154	FITNESS OFFICE	357 SF	100	3
155	KAISER	37 SF	100	1
156	GYM	7313 SF	50	142
157	SPECIALTY GYM	1962 SF	50	30
158	STORAGE	Not Placed	-	-
159	MEN'S LOCKER ROOM	656 SF	50	13
160	WOMEN'S LOCKER ROOM	663 SF	50	14
161	LOUNGE	618 SF		
162	POOL DECK	1429 SF	15	100
	POOL DECK	2450 SF	50	48
163				
164	MECH. / STORAGE	447 SF	300	2
165	STORAGE	214 SF	300	1
166	OFFICE	102 SF		
167	RAMP	416 SF		
168	OFFICE	Not Placed		
169	LOUNGE	114 SF		
170	STAIR	Not Placed		
171	PARKING	58692 SF		
175	Room	61 SF		
176	CARDIO	2507 SF		
177	OFFICE	102 SF		
178	YOGA STUDIO	2089 SF		
179	RECEPTION	98 SF		
180	SPORTS MED.	117 SF		
181	TREAT.	129 SF		
182	STORAGE	33 SF		
183	DRESSING ROOM	27 SF		
184	STORAGE / OFFICE	59 SF		
185	STAFF BREAKROOM	189 SF		
215	MENS	150 SF		
216	CONF.	565 SF		
219	CLOSET	29 SF		
220	ELEVATOR	29 SF		
221	TRAINING ROOM	121 SF		
225	AEROBIC AREA	1204 SF		
225	LOUNGE	478 SF	15	49
220 227	TRAINER'S DESK	84 SF	100	1
228	KIT LOCKERS	126 SF	100	2
229	OFFICE	Not Placed	100	2
230	OFFICE	Not Placed		
231	HALL	1621 SF	-	-
235	HALL	267 SF	-	-
236	STRETCHING	634 SF	50	13
237	SPINNING	1013 SF	50	21
238	GROUP EXERCISE	2608 SF	50	51
239	STORAGE	359 SF	300	2
240	MEN'S W.C.	178 SF	-	-
~	WOMEN'S W.C.	178 SF	_	-
241				
		1252 85	50	26
241 242	MULTI-PURPOSE STUDIO	1353 SF	50	26
	MULTI-PURPOSE STUDIO MULTI-PURPOSE STUDIO PRIVATE YOGA	1353 SF 2046 SF Not Placed	50 50 50	26 38 5

### **ACCESSIBILITY DIAGRAMS:**



### **SYMBOLS LEGEND:**





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ARCHITECT:

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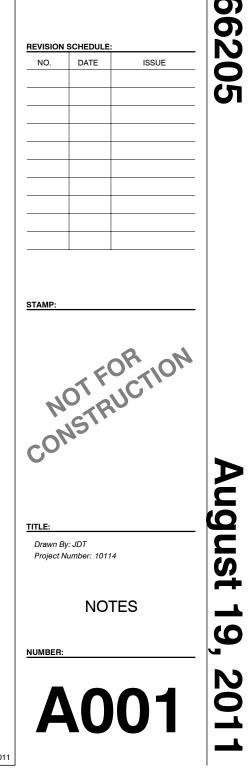
ELEVATION LEVEL

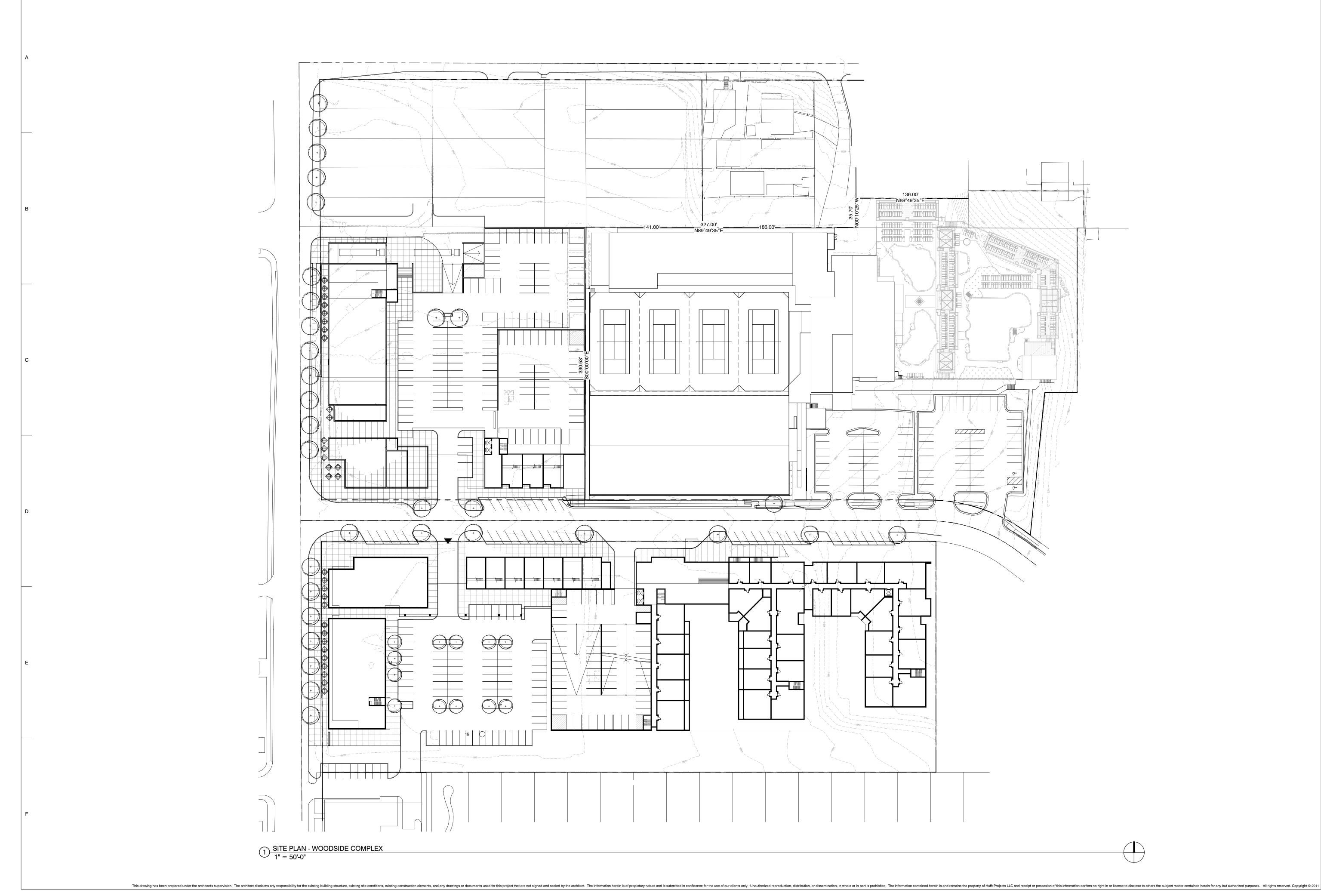
COLUMN GRID

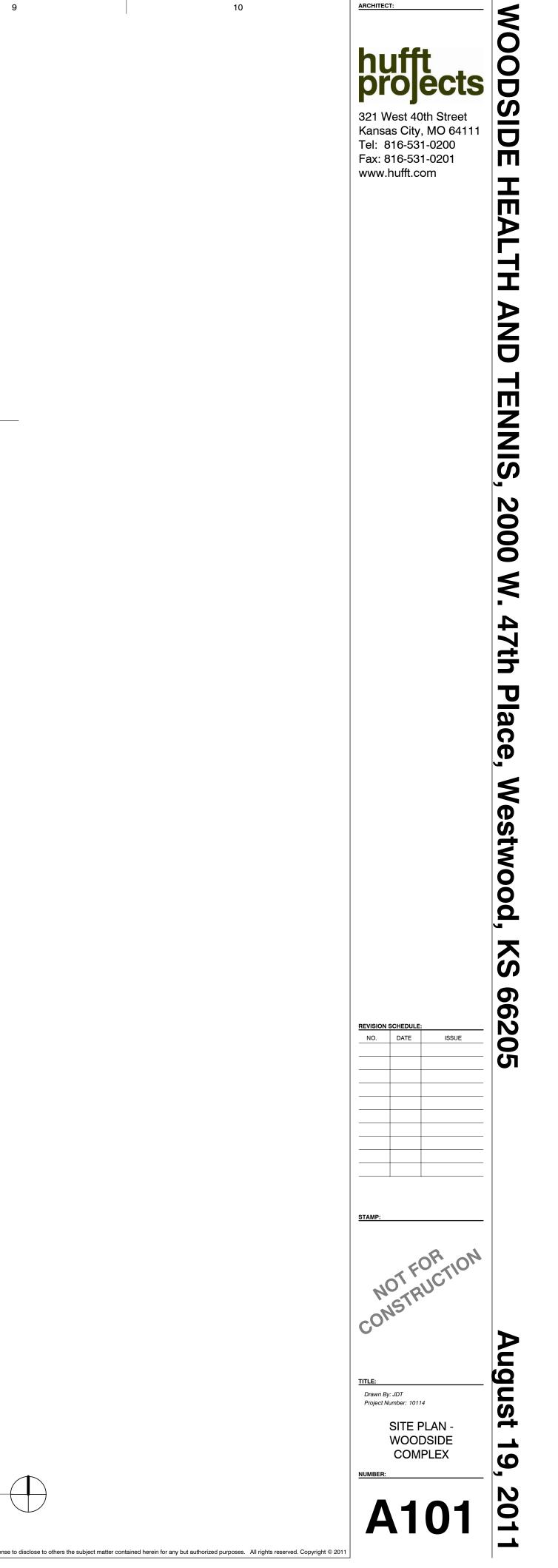
BUILING SECTION

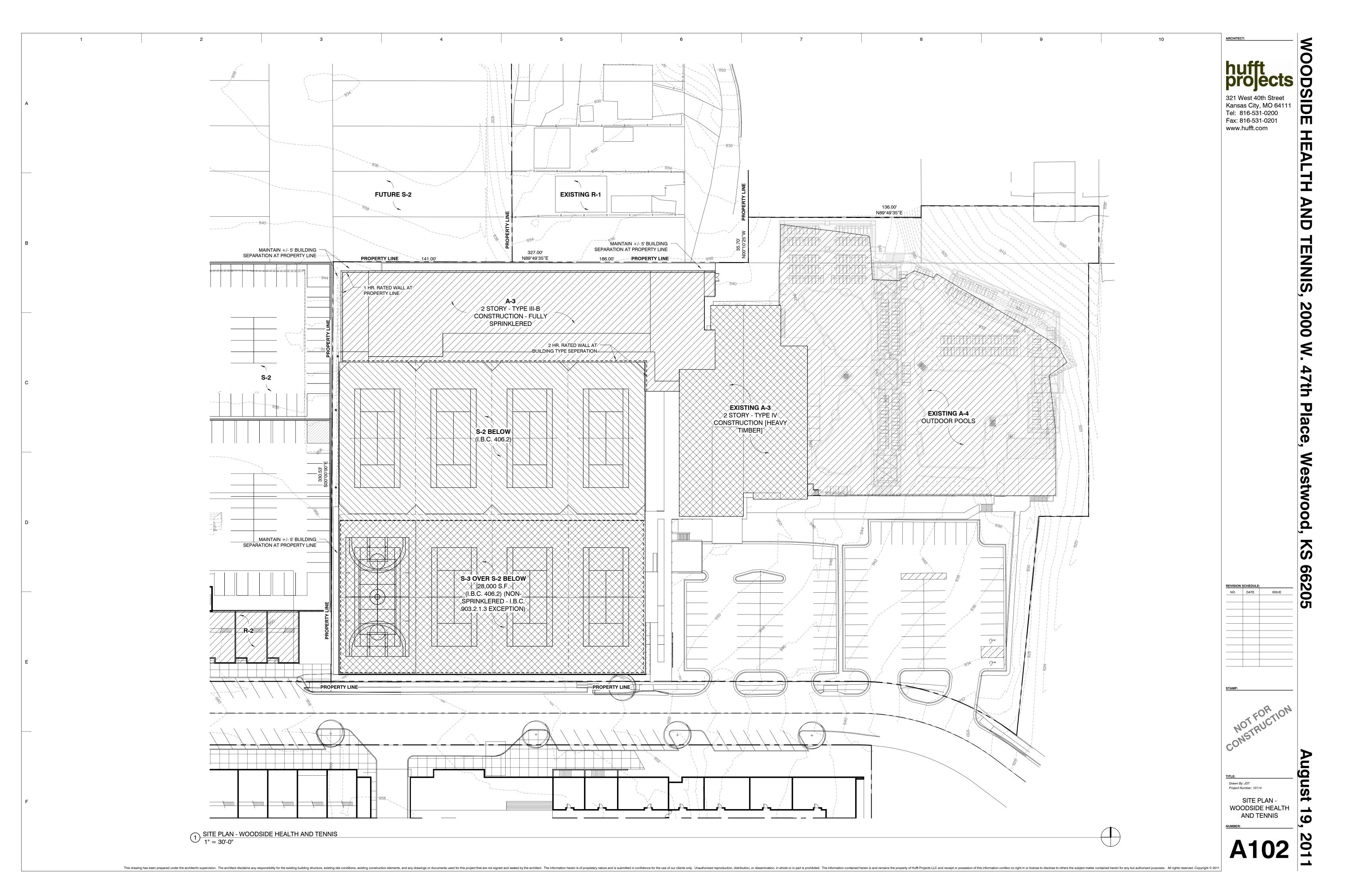
CENTER LINE

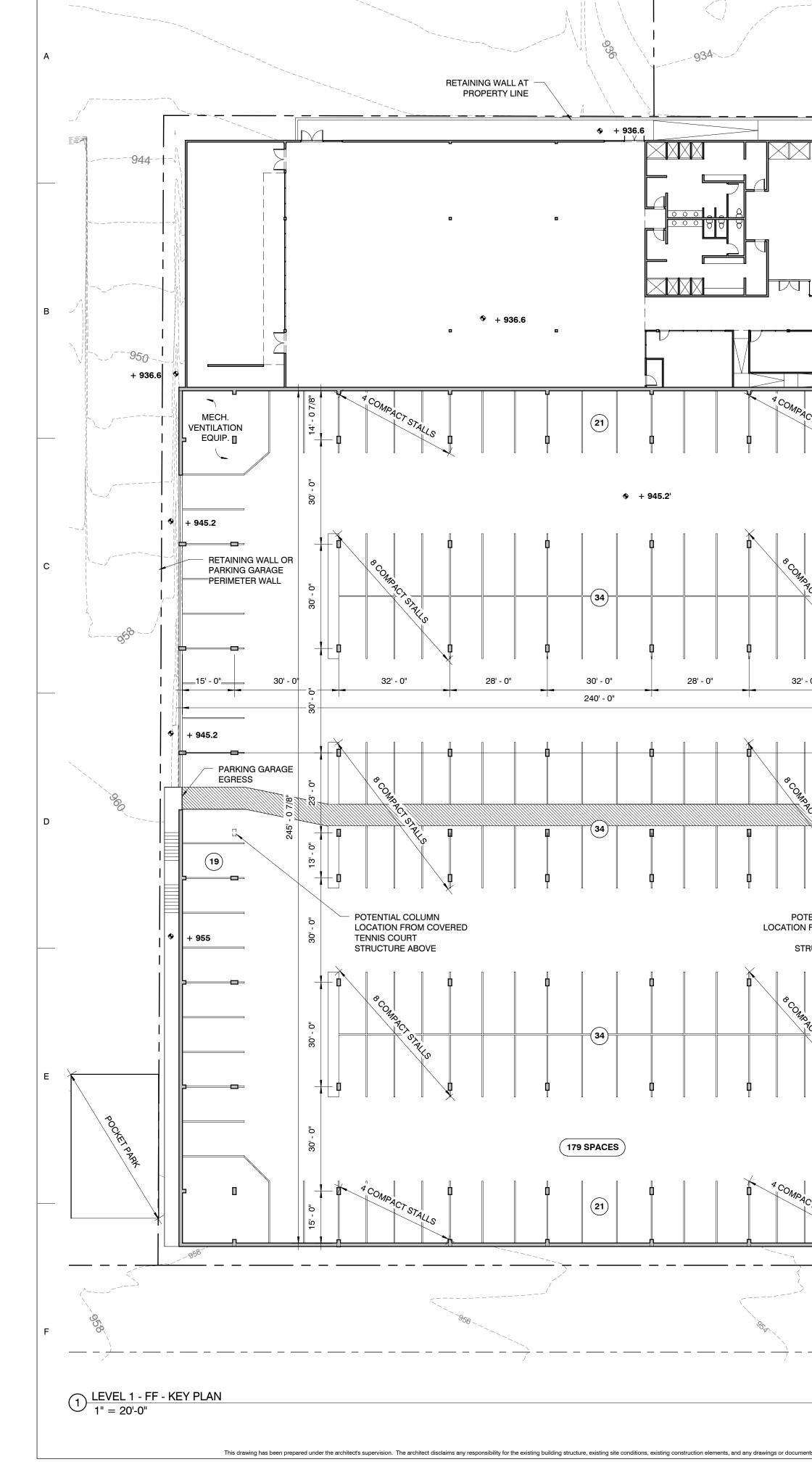
O ODSIDE ιs 321 West 40th Street Kansas City, MO 64111 Tel: 816-531-0200 Π  $\triangleright$ Ī AND TENNIS, 2000 × **47th Place**  $\leq$ () 0 0 0 X ഗ 0

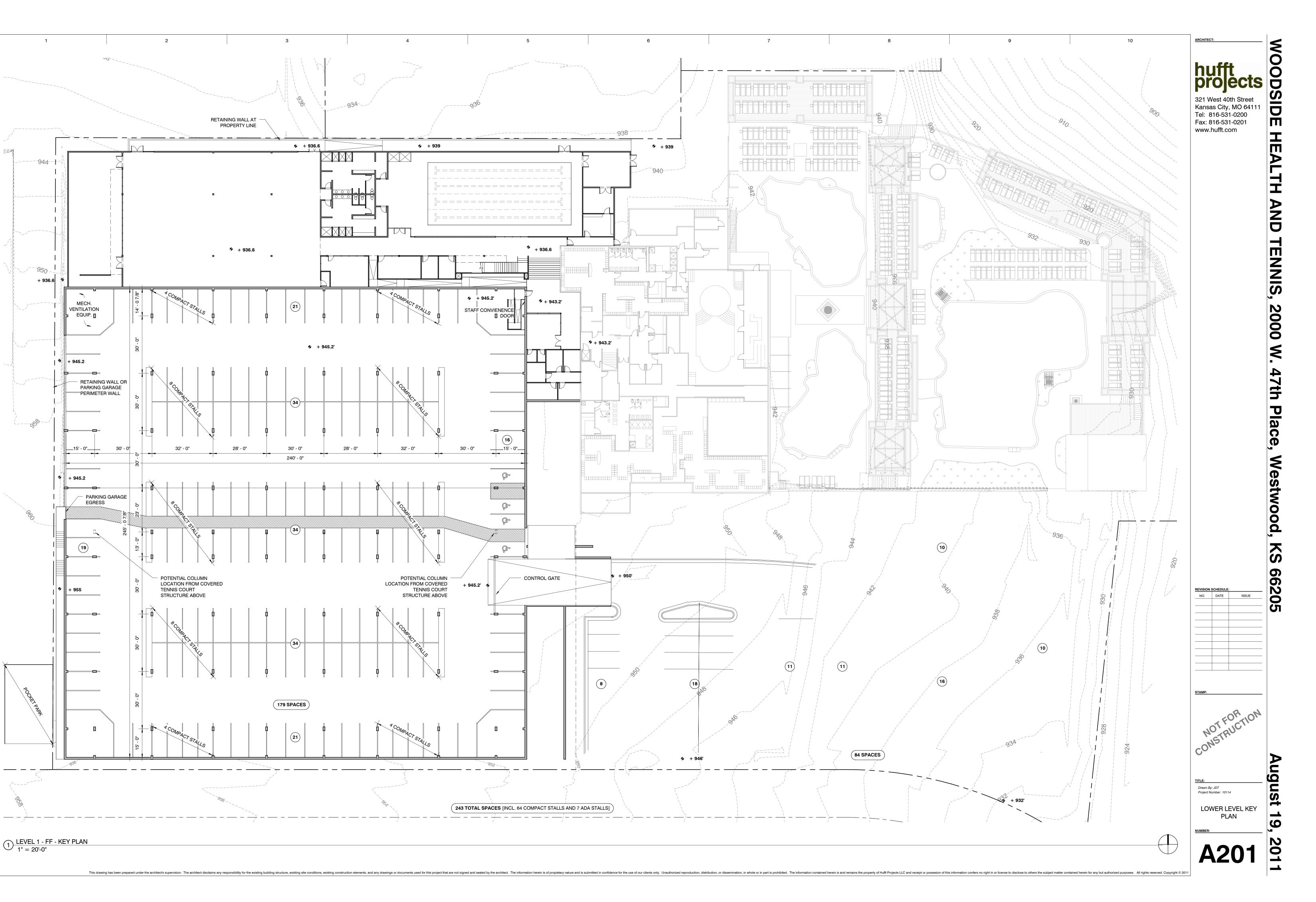


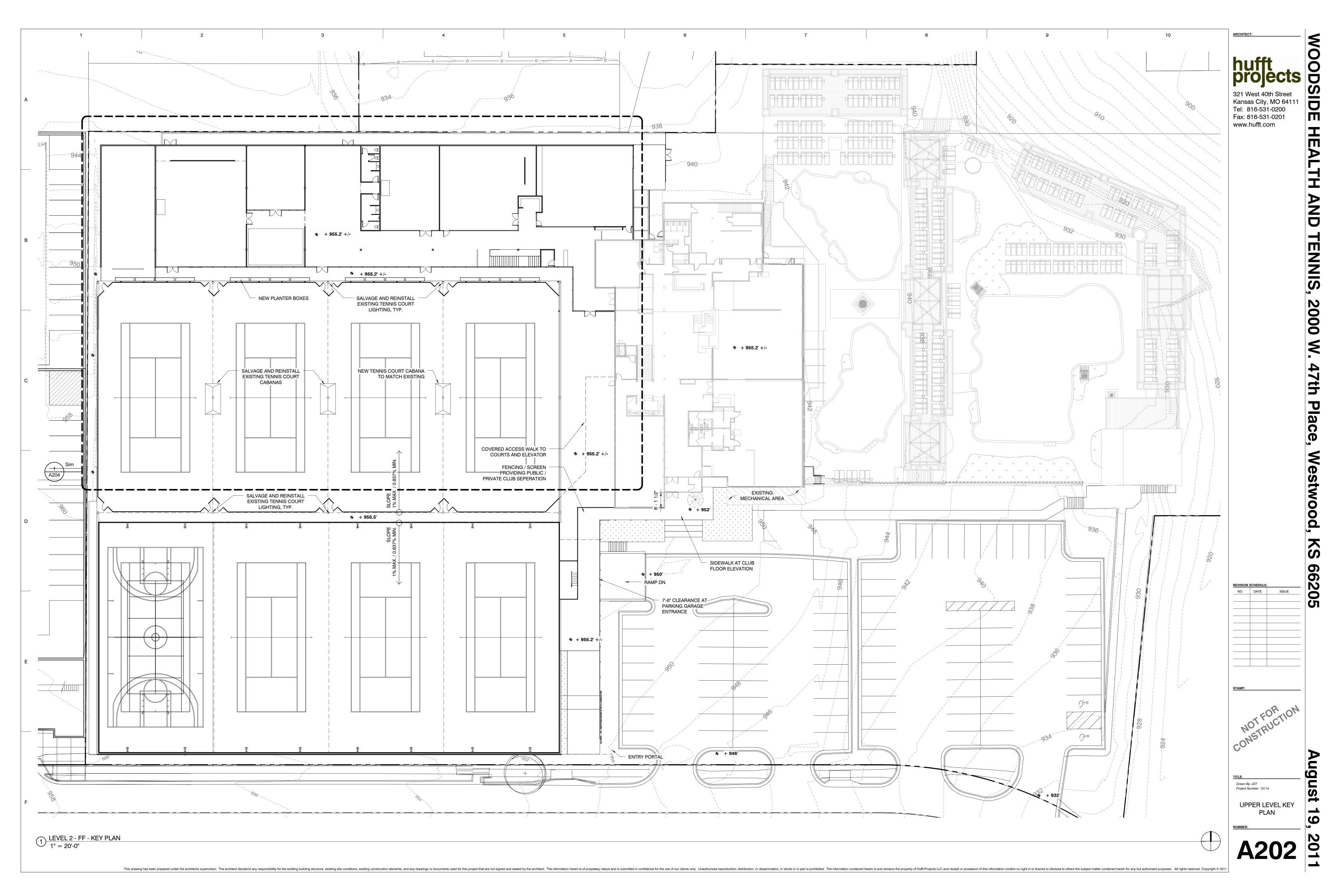












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