Woodside Village South 2000 W. 47th Place, Westwood, KS 66205

Final Plan Submission | February 1, 2016

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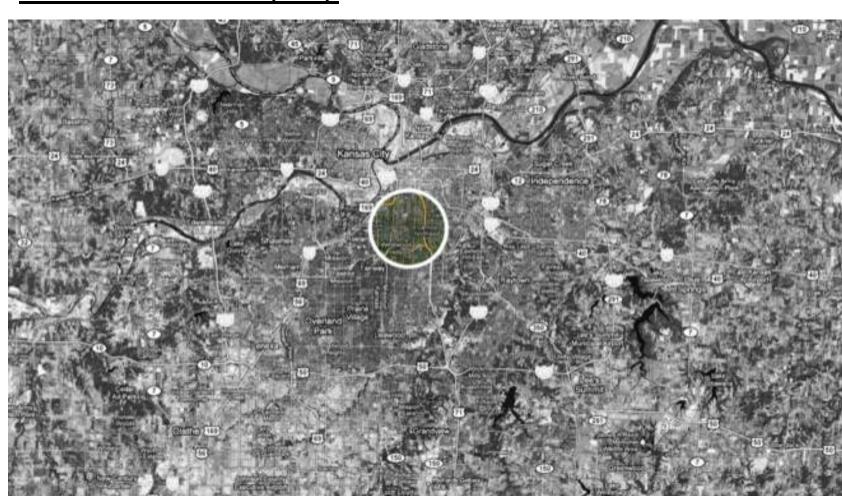
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SITE LIGHTING - PHOTOMERIC PLAN

WOODSIDE VILLAGE SOUTH - COMPARISON DOCUMENT:

	Preliminary Submital Drawings	Current Plan
Unit Count	242	243
Unit Mix	(112) 1BD, (98) 2BD, (24) 3BD, (9) L/W	(109) 1BD, (106) 2BD, (19) 3BD, (9) L/W
Total Parking	473	550
Parking Garage Height	(1) Level below grade, (4) Levels above grade	(5 1/2) Levels above grade
Parking Garage Setback from Property Line	50'-4"	91'-0"
Materials	Stone, Stucco, Wood, Pre-finished Panel	Splitface CMU, Stucco, Wood, Pre-finished Panel

PROJECT LOCATION (NTS):







CLIENT: TANNER & WHITE

Tanner + White Properties, Inc. 1545 Stone Canyon Road, Los Angeles, CA 90077 Tel: 310-476-7500

CIVIL ENGINEER:



OLSSON ASSOCIATES 1251 NW Briarcliff Parkway, Suite 50, Kansas City, MO, 64116 Tel: 816-361-1177 Trevor Tast ttast@olssonassociates.com



John Galloway john@40northdesign.com

ARCHITECT:

3612 Karnes Boulevard, Kansas City, MO, 64111 Tel: 816-531-0200 Fax: 816-531-0201

Matthew Hufft Kimball Hales Kara Bouillette

mhufft@hufft.com khales@hufft.com kbouillette@hufft.com

STRUCTURAL ENGINEER:

B C CStructural Engineers - Since 1957 BOB D. CAMPBELL AND COMPANY 4338 Belleview, Kansas City, MO, 64111

Contacts: Michael Falbe mfalbe@bdc-engrs.com

M.E.P. ENGINEER:

Tel: 816-531-4144



SMITH & BOUCHER ENGINEERS 25501 West Valley Parkway, Olathe, KS, 66061 Tel: 913-344-0029 Fax: 913-345-0617 Contacts: Phil Ptacek pptacek@smithboucher.com Matt Pellman mpellman@smithboucher.com Brian Daniels bdaniels@smithboucher.com

++

Woodside Village South

TANNER AND WHITE PROPERTIES

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Final Plan Submission February 1, 2016

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Drawn By: Author Project Number: Project Number COVER SHEET / DRAWING INDEX

WOODSIDE VILLAGE PHASE 2 FINAL DEVELOPMENT PLANS

NORTHEAST CORNER OF WEST 47TH TERRACE AND RAINBOW BOULEVARD SECTION 2, TOWNSHIP 12 SOUTH, RANGE 25 EAST



LOCATION MAP

UTILITY INFORMATION

NOTE: THE INFORMATION CONCERNING THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN VERIFIED IN THE FIELD BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT. WHERE MEASUREMENTS WERE NOT AVAILABLE, THE LOCATION OF THESE UNDERGROUND LINES WERE SCALED FROM

THE COMPAN	Y'S RECORDS.	
SEWERS:	JOHNSON COUNTY WASTEWATER	(913) 715-8500
WATER:	WATERONE	(913) 895–1850
POWER:	KCP&L	(816) 471-5275
GAS:	KANSAS GAS	(800) 794-4782
	SOUTHERN STAR GAS	(913) 631-5900
TELEPHONE:	AT&T	(800) 585-7928
CABLE:	TIME WARNER	(913) 451-6464

WESTWOOD PUBLIC WORKS

DIRECTOR OF PUBLIC WORKS

Sheet List Table

TITLE SHEET

Sheet Title

GENERAL LAYOUT PLAN

OVERALL GRADING PLAN

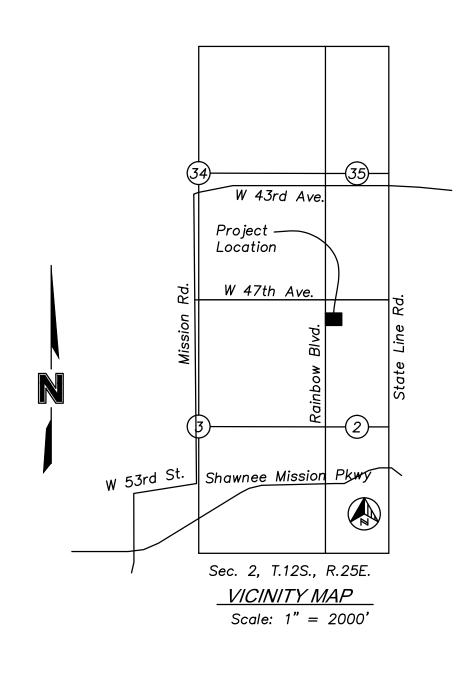
JOHN SULLIVAN
CITY OF WESTWOOD PUBLIC WORKS DEPARTMENT
2545 W 47TH ST.
WESTWOOD KS. 66205
PHONE: 913-432-1550
FAX: 913-432-1997

KANSAS CITY BOARD OF PUBLIC UTILITIES

KANSAS CITY BOARD OF PUBLIC UTILITIES 540 MINNESOTA AVE. KANSAS CITY, KANSAS 66101 PHONE: 913-573-9000 WYANDOTTE COUNTY UNIFIED GOVERNMENT
PUBLIC WORKS

ROBERT D. RODDY, P.E., DIRECTOR
701 N. 7TH STREET
SUITE 712
913-573-5400
FAX: 913-573-5435

URBAN PLANNING AND LAND USE
MELISSA A. MITCHELL
COUNTY, DEPARTMENT OF URBAN
PLANNING AND LAND USE
INDIAN SPRINGS MARKET PLACE
4601 STATE AVENUE, SUITE 88
KANSAS CITY, KANSAS 66102
P. (913) 573-8664



PROPERTY DESCRIPTION:

ALL OF LOT 1, THE GATEWAY FIRST PLAT, A SUBDIVISION IN THE CITY OF MISSION, JOHNSON COUNTY, KANSAS.

LOT AREA:
208,275 SQUARE FEET OR 4.78 ACRES

BENCHMARKS

GPS POINT 1008
ELEVATION: 966.85

(SEE GENERAL LAYOUT PLAN FOR LOCATION)





Drawn By: RGH
Project Number: B10-2516
TITLE SHEET

C100

FINAL DEVELOPMENT PLANS

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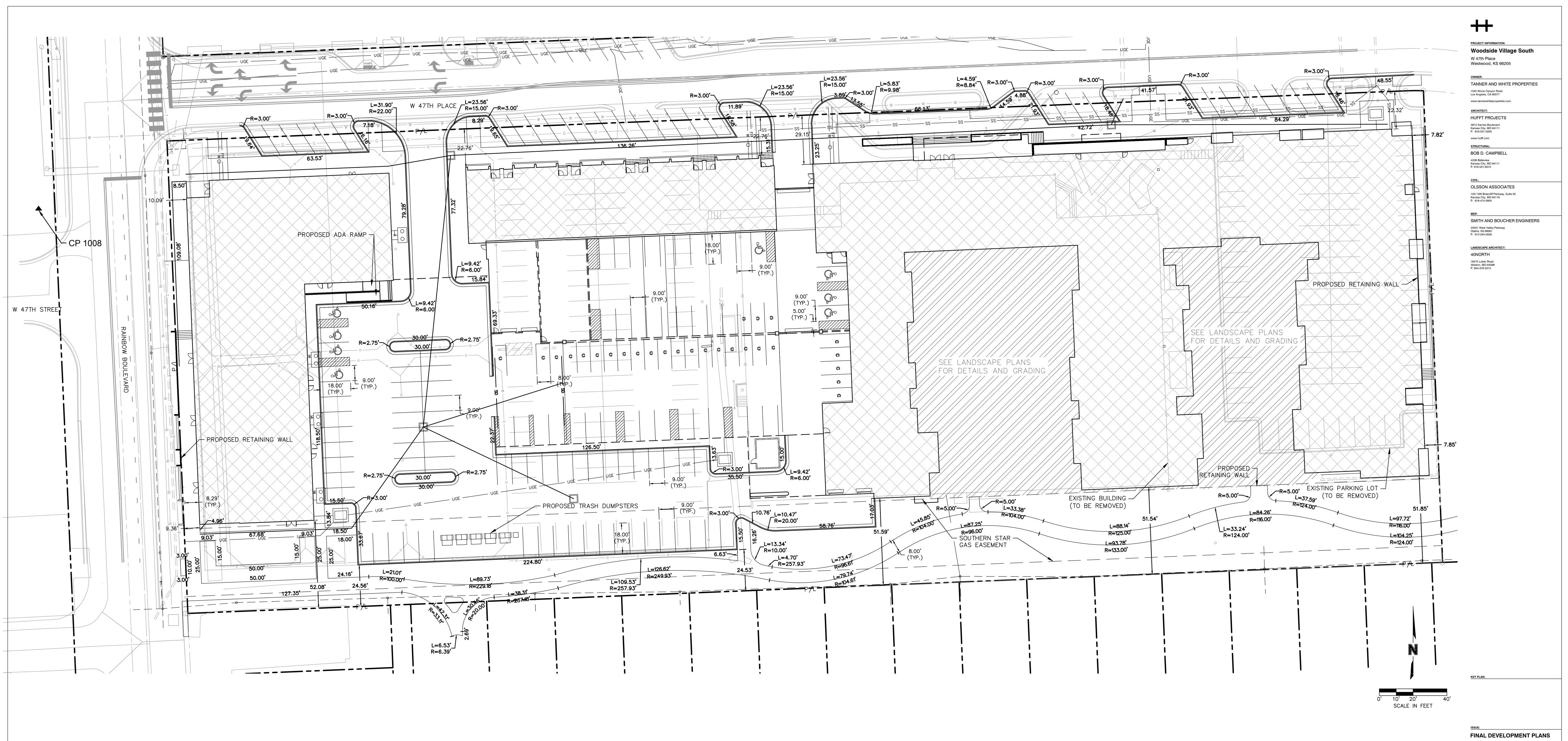
January 15th, 2016

Woodside Village South

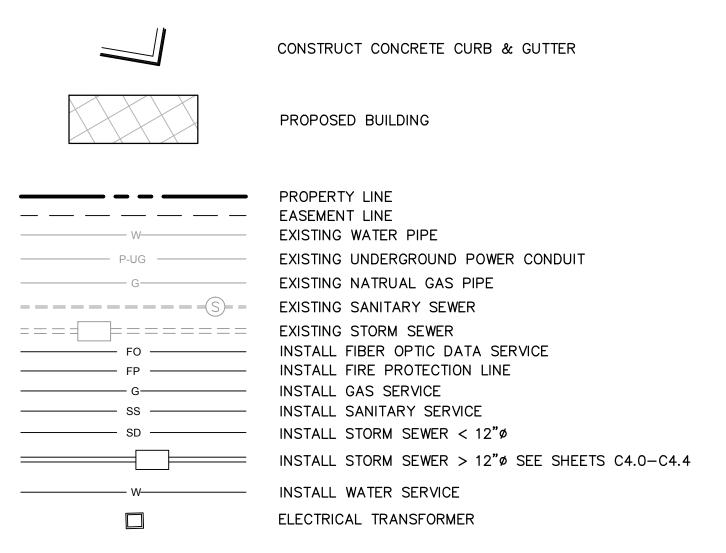
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GENERAL LEGEND



January 15th, 2016 REVISION SCHEDULE: NO. DATE ISSUE

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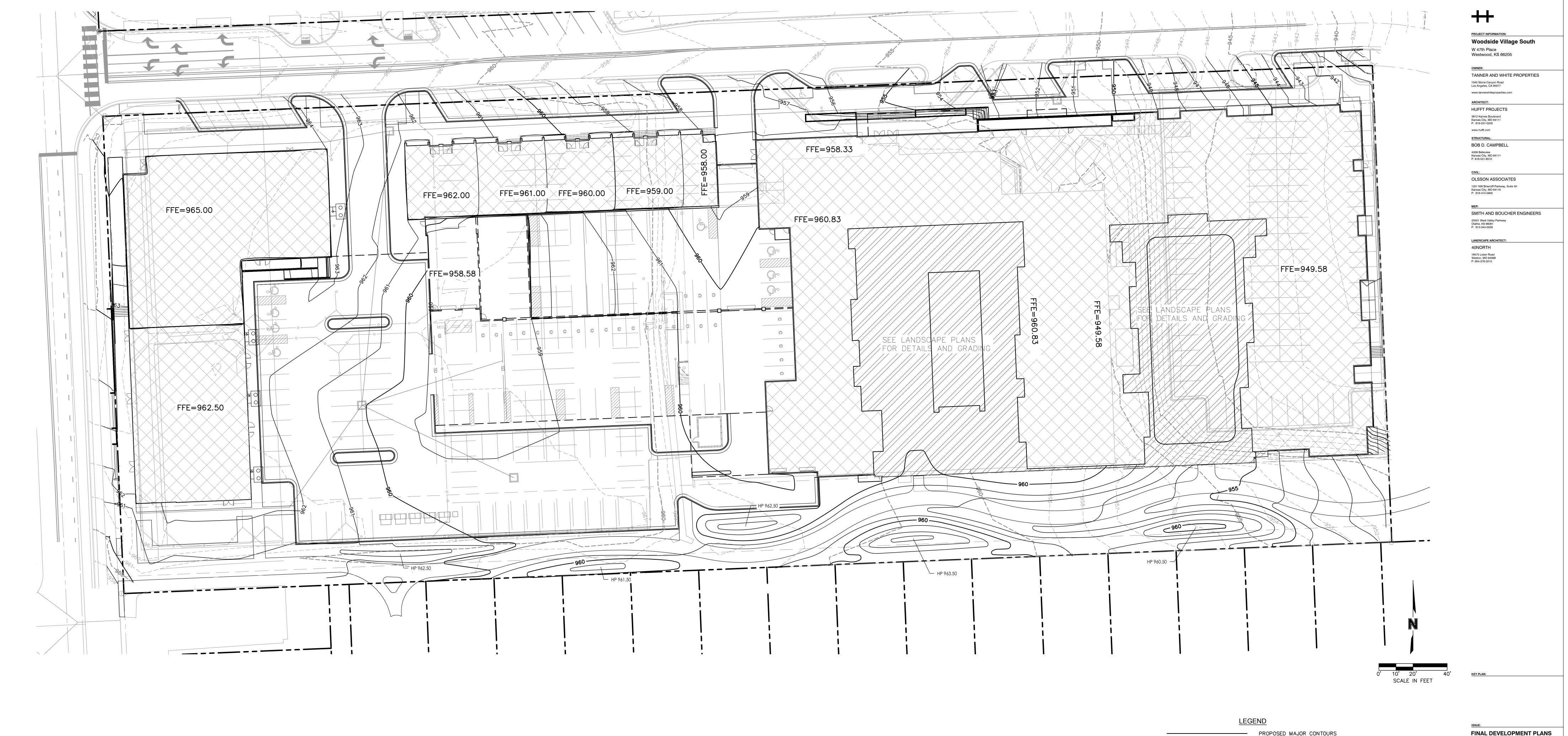
Know what's below. Call 811 before you dig.

(SEE GENERAL LAYOUT PLAN FOR LOCATION)

BENCHMARKS

GPS POINT 1008 ELEVATION: 966.85

Drawn By: RGH Project Number: B10-2516 GENERAL LAYOUT PLAN



PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS. 2. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY OLSSON ASSOCIATES DATED JUNE 24, 2014 AND ALL ADDENDUMS FOR ADDITIONAL REQUIREMENTS. 3. THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED. 4. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS. 5. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL. 6. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. 7. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.

8. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PROVIDED BY ALPHA—OMEGA GEOTECH

DATED AUGUST 10, 2015 AND ALL ADDENDUMS.

NOTES

ALL UTILITIES EXCEPT STORM
SEWER ARE NOT SHOWN FOR
GRADING PLAN CLARITY

BENCHMARKS

GPS POINT 1008
ELEVATION: 966.85
(SEE GENERAL LAYOUT PLAN FOR LOCATION)



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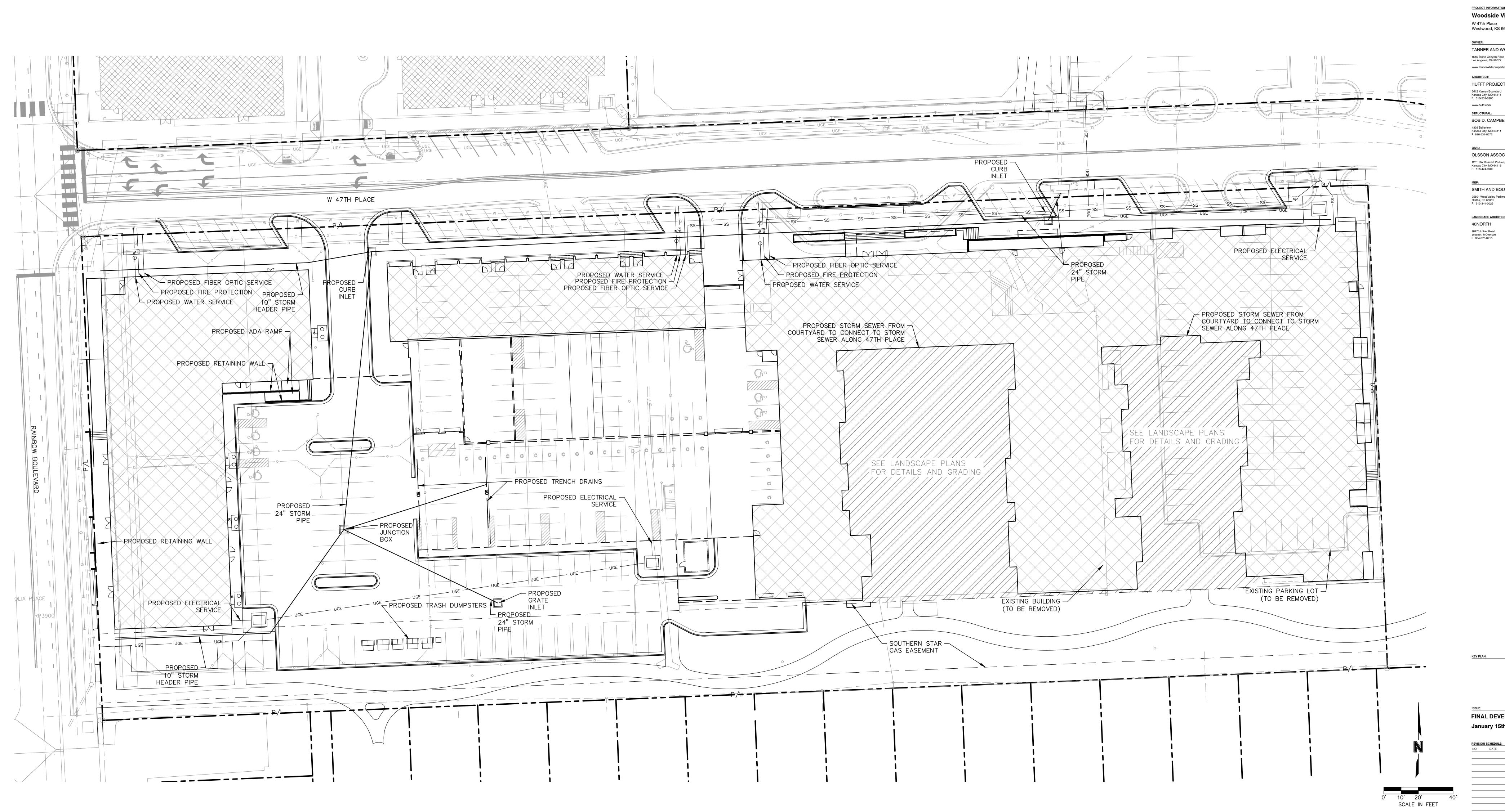
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January 15th, 2016

Drawn By: RGH
Project Number: B10-2516

OVERALL GRADING PLAN

C300



GENERAL UTILITY NOTES

- 1. THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- 2. INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
- 3. CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTOR AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS.
- 5. CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY
- REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES. 6. CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
- 7. LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- 8. CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO
- INSTALLATION. 9. WATER METER CANNOT BE INSTALLED IN THE BUILDING.
- 10. CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
- 11. ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH WATERONE STANDARDS AND SPECIFICATIONS.
- 12. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE AND COMMUNICATIONS COMPANIES SERVING THE PROJECT AND INSTALL THE NECESSARY CONDUITS TO PROVIDE SERVICE TO THE BUILDINGS.
- 13. ALL STORM SEWER STRUCTURES/MANHOLES SHALL BE BUILT OR ADJUSTED TO FINISH GRADE. ALL EXISTING STRUCTURES, UTILITY VALVES AND METER PITS AFFECTED BY THE WORK SHALL BE ADJUSTED AS REQUIRED TO MATCH FINISH GRADE.
- 14. ALL PROPOSED PUBLIC WATER LINES WILL BE DESIGNED AND INSTALLED BY WATER ONE. THE ROUTING SHOWN ON THE PLANS IS APPROXIMATE AND MAY VARY DEPENDING ON WATERONE'S FINAL DESIGN DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH WATER ONE AND ADJUST SERVICE LINE LENGHTS ACCORDINGLY BASED ON THE FINAL MAIN DESIGN.

SANITARY SEWER SERVICE LINE GENERAL NOTES:

- 1. ALL SANITARY SEWER SERVICE PIPE SHALL BE HDPE SDR-17 SAN. SEWER SERVICE LINE WITH BUTT-FUSED JOINTS.
- 2. INSTALL 6" ONE-WAY CLEANOUTS 10' FROM BUILDING.
- 3. TEN FEET OF HORIZONTAL SEPARATION AND TWO FEET OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER LINES AND THE SANITARY SEWER SERVICE LINE.
- 4. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF.
- 5. 90-DEGREE TURNS TO BE ACCOMPLISHED WITH TWO 45-DEGREE BENDS WITH A MINIMUM OF ONE FOOT OF PIPE BETWEEN THE 45-DEGREE BENDS.
- 6. SANITARY SERVICE TO BE INSTALLED BY BUILDING PLUMBER.
- ALL CONNECTION INFORMATION REFER TO JCW CONSTRUCTION AND MATERIALS SPECIFICATIONS DOCUMENT SECTION

7. INSTALLATION OF HDPE PIPE SHALL BE PER JCW SERVICE LINE DESIGN AND CONSTRUCTION STANDARDS VERSION 2011. FOR

- 8. HDPE PIPE REQUIRES TWO JCW INSPECTIONS. INSPECTION 1 SHALL INCLUDE INSPECTION OF ALL BUTT—FUSED JOINTS, THE REMOVED INTERNAL BEADS FROM EACH JOINT AND HAUNCHED PIPE IN THE TRENCH. INSPECTION 2 SHALL INCLUDE ALL TIE-INS AND CONNECTIONS A MINIMUM OF 6 HOURS AFTER JCW INSPECTION 1. REFER TO JCW SERVICE LINE DESIGN AND CONSTRUCTION STANDARDS FOR ALL REQUIREMENTS.
- 9. CONTRACTOR SHALL INSTALL TRACER WIRE WITH ALL SANITARY SEWER SERVICE PIPE. REFER TO JCW SERVICE LINE DESIGN AND CONSTRUCTION STANDARDS FOR ALL REQUIREMENTS.
- 10. FOR BUTT-FUSED HDPE JOINING, FUSION SHALL BE ACCOMPLISHED BY PERSONNEL CERTIFIED AS FUSION TECHNICIANS BY A MANUFACTURER OF POLYETHYLENE PIPE AND OR/FUSING EQUIPMENT. CERTIFICATIONS FOR ALL PERSONNEL SHALL BE SUBMITTED TO JCW PRIOR TO INSPECTION OF WORK.

Woodside Village South W 47th Place

Westwood, KS 66205

TANNER AND WHITE PROPERTIES 1545 Stone Canyon Road Los Angeles, CA 90077 www.tannerwhiteproperties.com

ARCHITECT: **HUFFT PROJECTS**

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SMITH AND BOUCHER ENGINEERS

LANDSCAPE ARCHITECT 40NORTH 18475 Lober Road Weston, MO 64098 P: 954-376-0215

FINAL DEVELOPMENT PLANS January 15th, 2016

NO. DATE ISSUE

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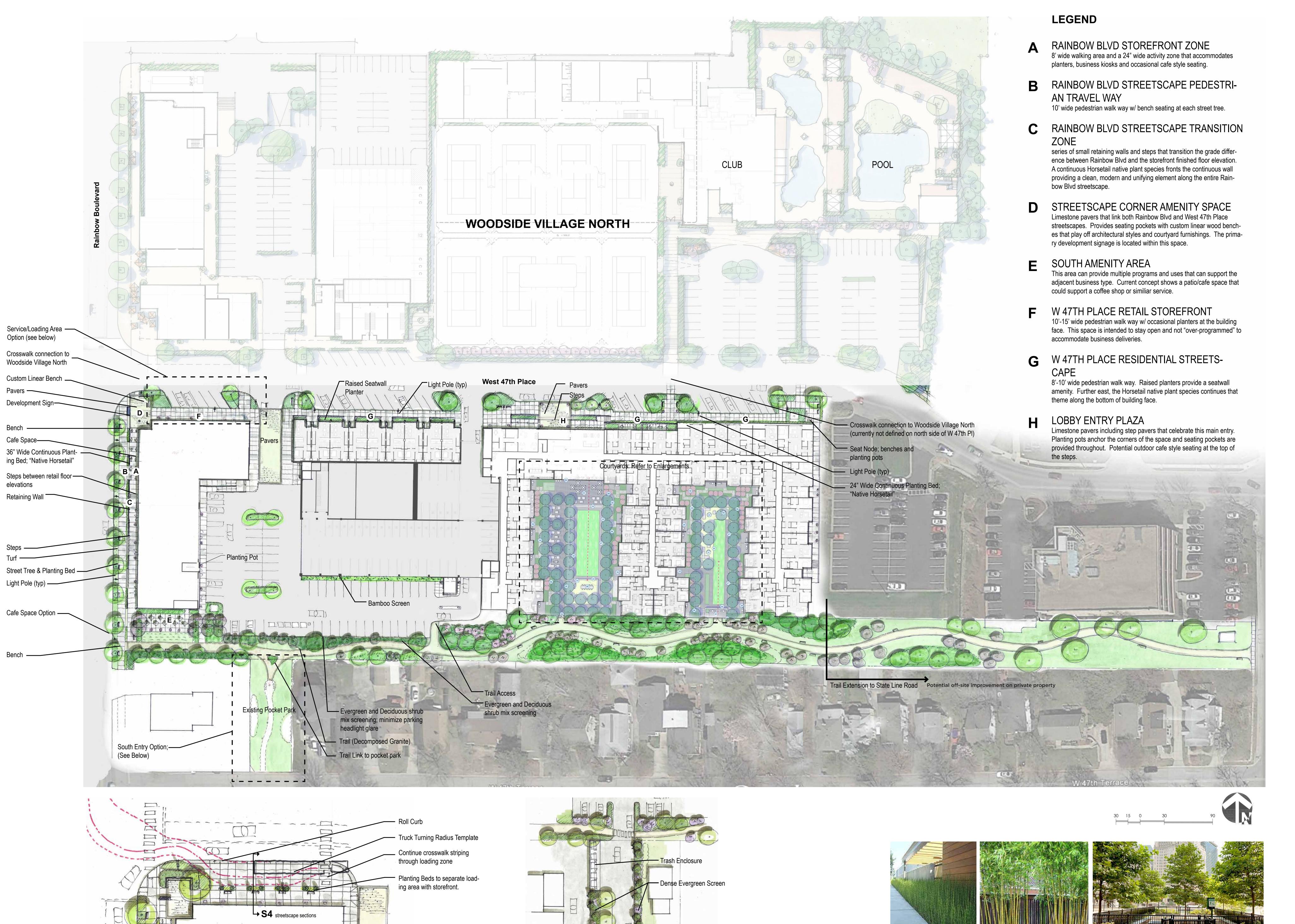
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BENCHMARKS

GPS POINT 1008

ELEVATION: 966.85

Drawn By: RGH Project Number: B10-2516 UTILITY PLAN



SOUTH ENTRY OPTION

SERVICE/LOADING AREA OPTION

Bamboo Parking Lot Screen Dog Run Woodside Village South - Streetscape Concept Plan January 25, 2016

Native Horsetail Plant

#

Woodside Village South W 47th Place Westwood, KS 66205

TANNER AND WHITE PROPERTIES

www.tannerwhiteproperties.com ARCHITECT: **HUFFT PROJECTS**

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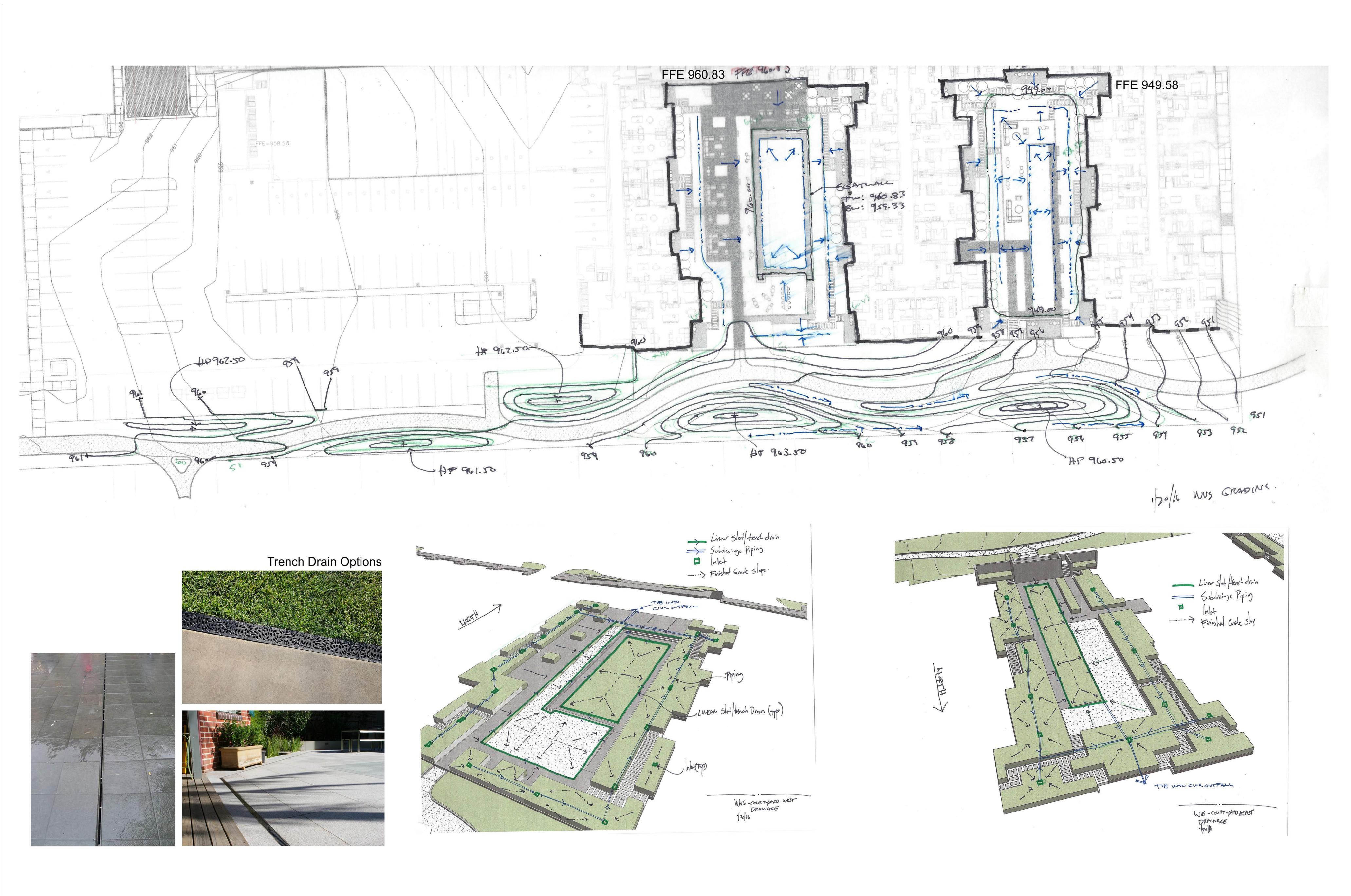
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Project Number: Project Number OVERALL LANDSCAPE

L101



Woodside Village South
W 47th Place
Westwood, KS 66205

OWNER:

TANNER AND WHITE PROPERTIES

Los Angeles, CA 90077
www.tannerwhiteproperties.com

ARCHITECT:
HUFFT PROJECTS

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MEP:
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25501 West Valley Parkway
Olathe, KS 66061
P: 913-344-0029

LANDSCAPE ARCHITECT:
40NORTH
18475 Lober Road

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Drawn By: Author
Project Number: Project Number

COURTYARD DRAINAGE
PLANS

L102



PROJECT INFORMATION: **Woodside Village South** Westwood, KS 66205

OWNER: TANNER AND WHITE PROPERTIES

www.tannerwhiteproperties.com ARCHITECT: **HUFFT PROJECTS** 3612 Karnes Boulevard Kansas City, MO 64111 P: 816-531-0200

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SMITH AND BOUCHER ENGINEERS

25501 West Valley Parkway Olathe, KS 66061 P: 913-344-0029 LANDSCAPE ARCHITECT:

40NORTH

KEY PLAN:

February 1, 2016

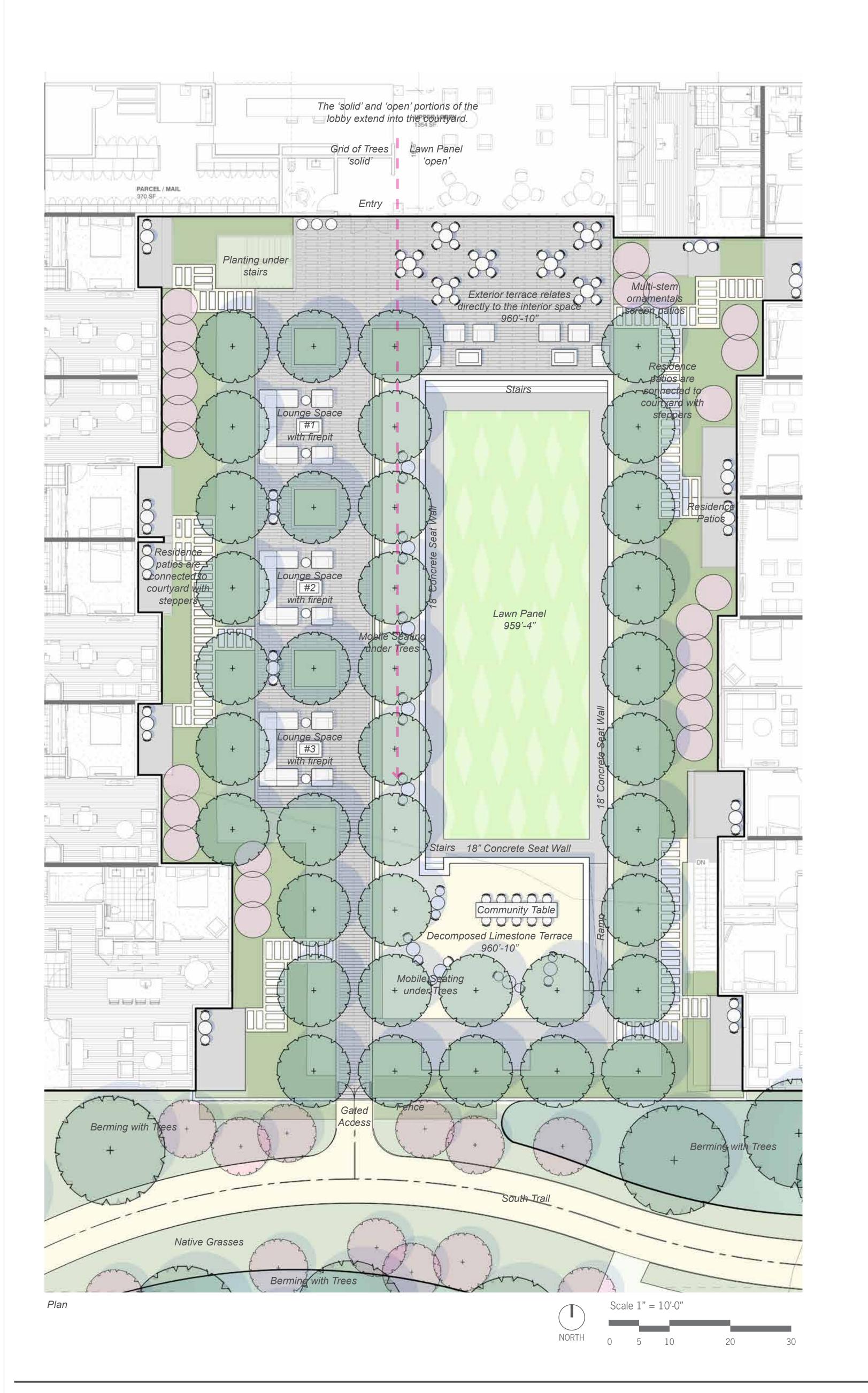
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Woodside Village South - Courtyards

Drawn By: Author Project Number: Project Number ENLARGED COURTYARD

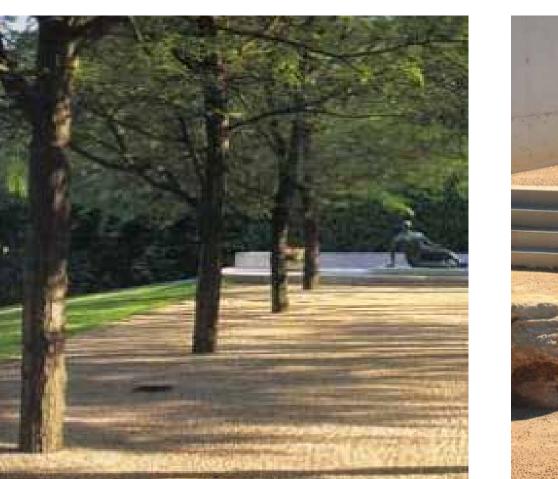




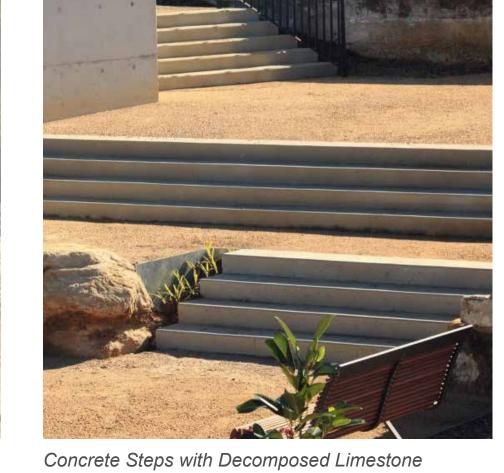




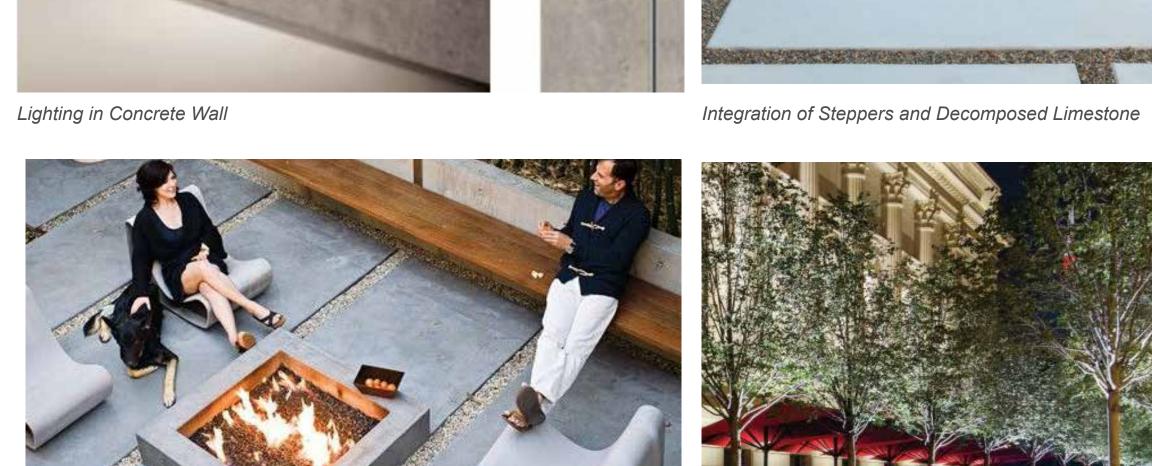




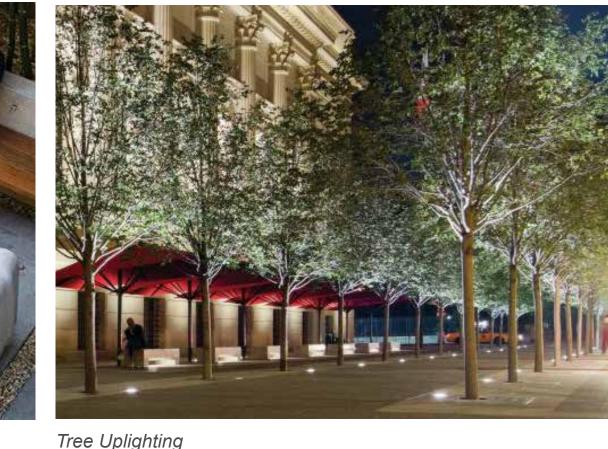
Trees and Decomposed Limestone

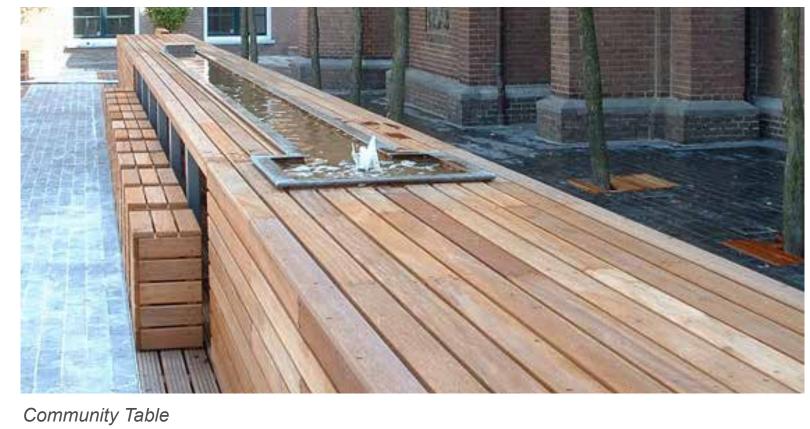








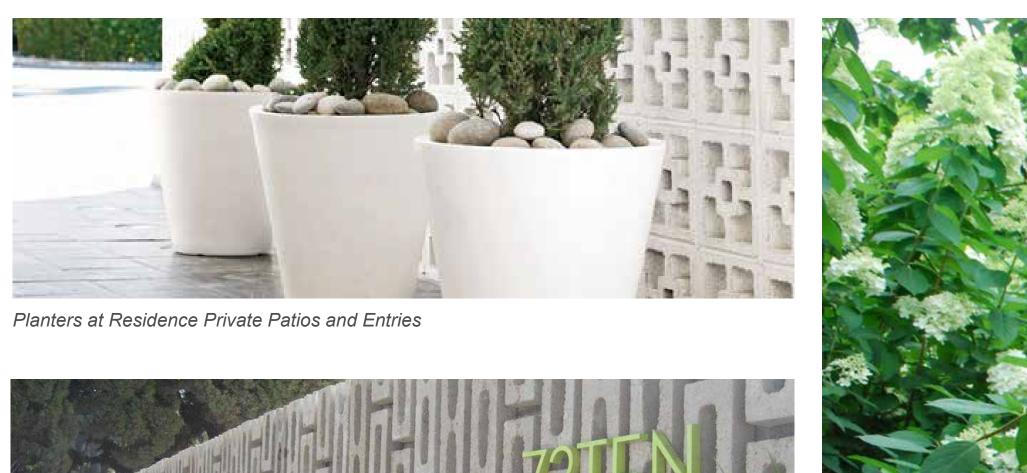








Fence Screening Along South Trail





Woodside Village South - West Courtyard

Drawn By: Author Project Number: Project Number WEST COURTYARD PLAN + INSPIRATION

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PROJECT INFORMATION:

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BOB D. CAMPBELL

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25501 West Valley Parkway Olathe, KS 66061 P: 913-344-0029

LANDSCAPE ARCHITECT: 40NORTH

SMITH AND BOUCHER ENGINEERS

4338 Belleview Kansas City, MO 64111 P: 816-531-8572

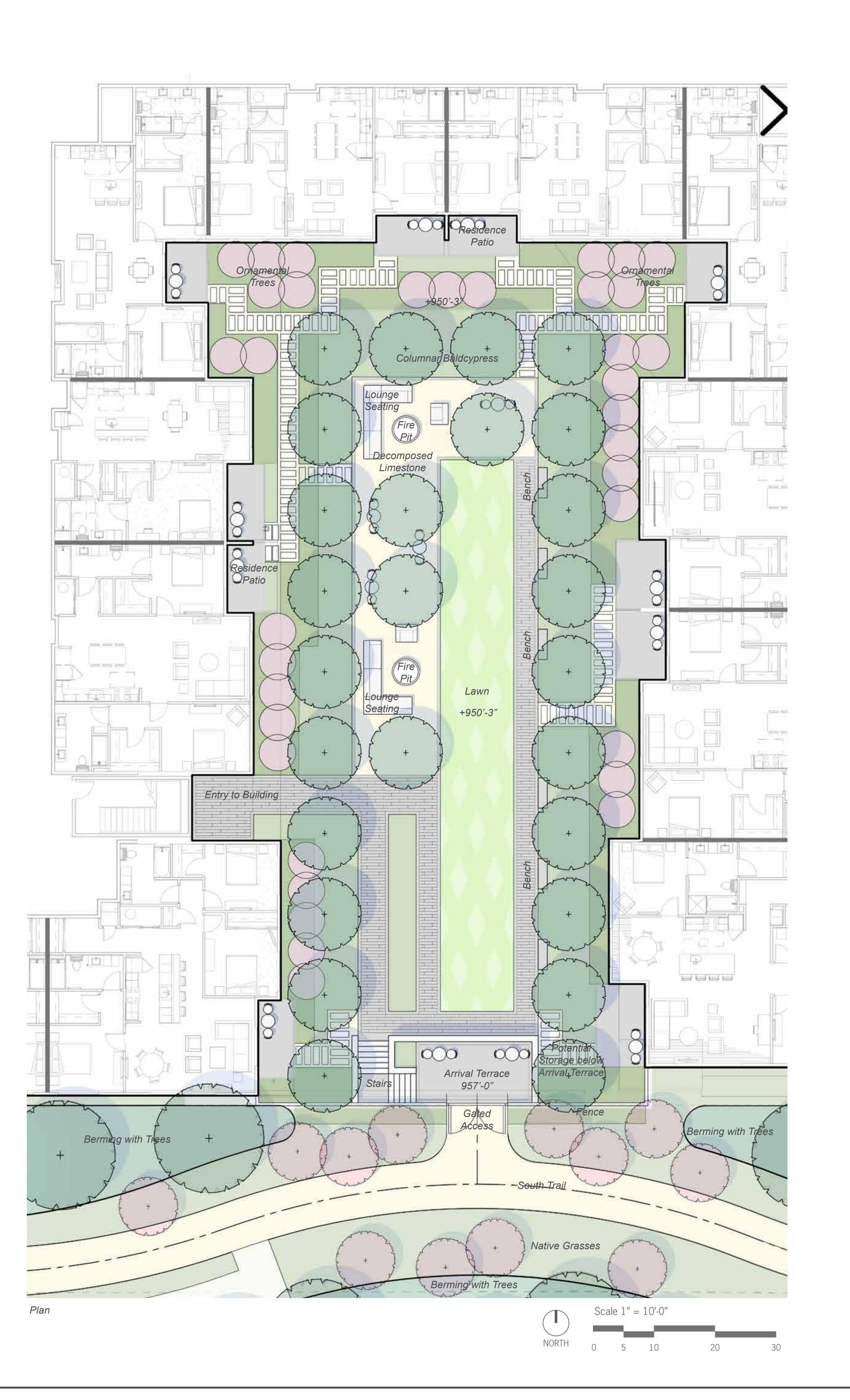
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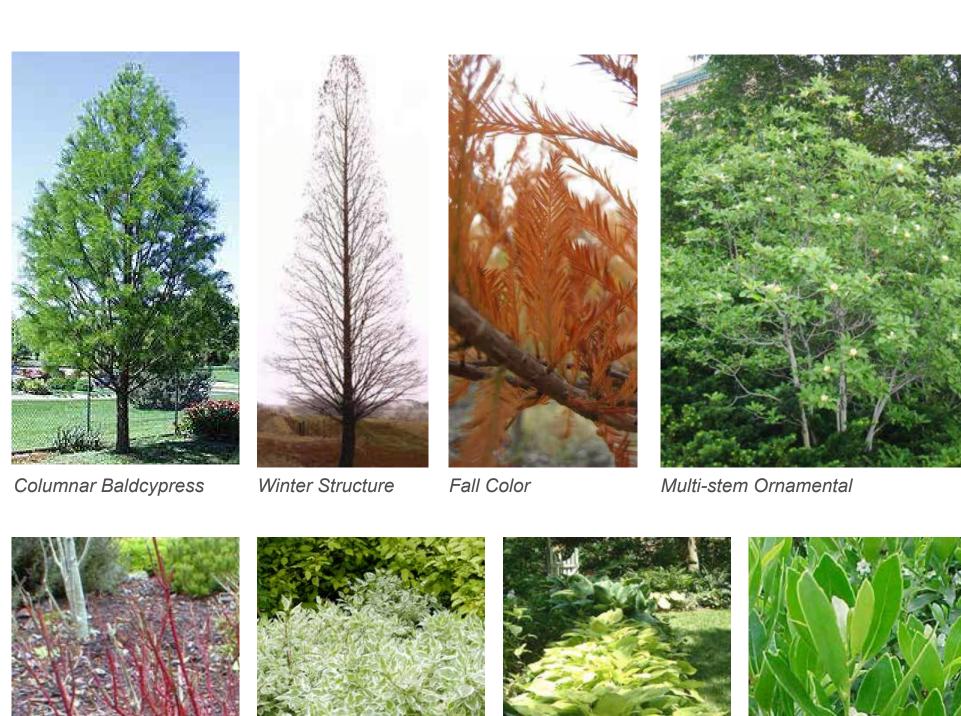
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www.hufft.com STRUCTURAL:

Woodside Village South

TANNER AND WHITE PROPERTIES



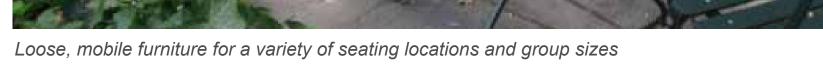


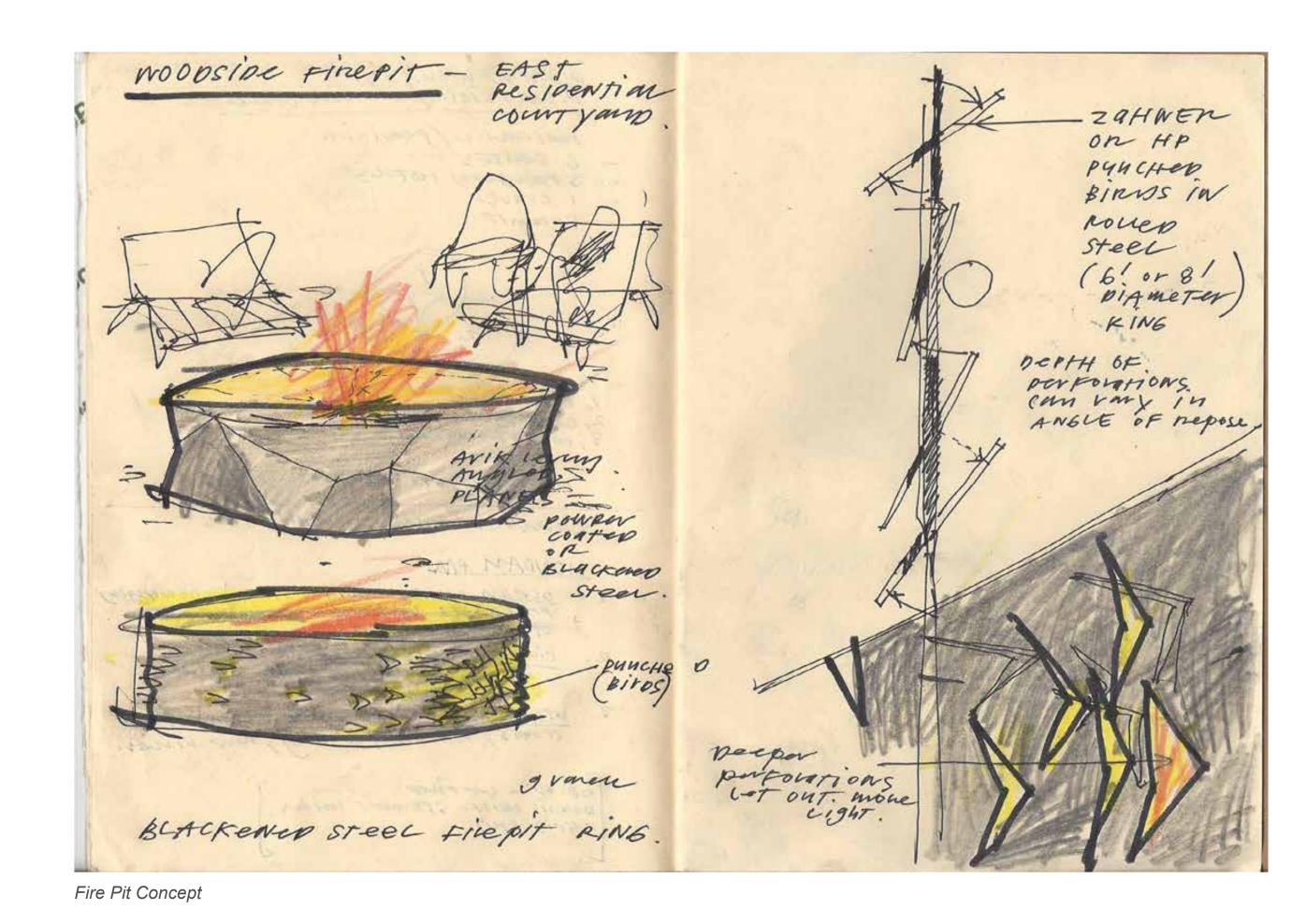








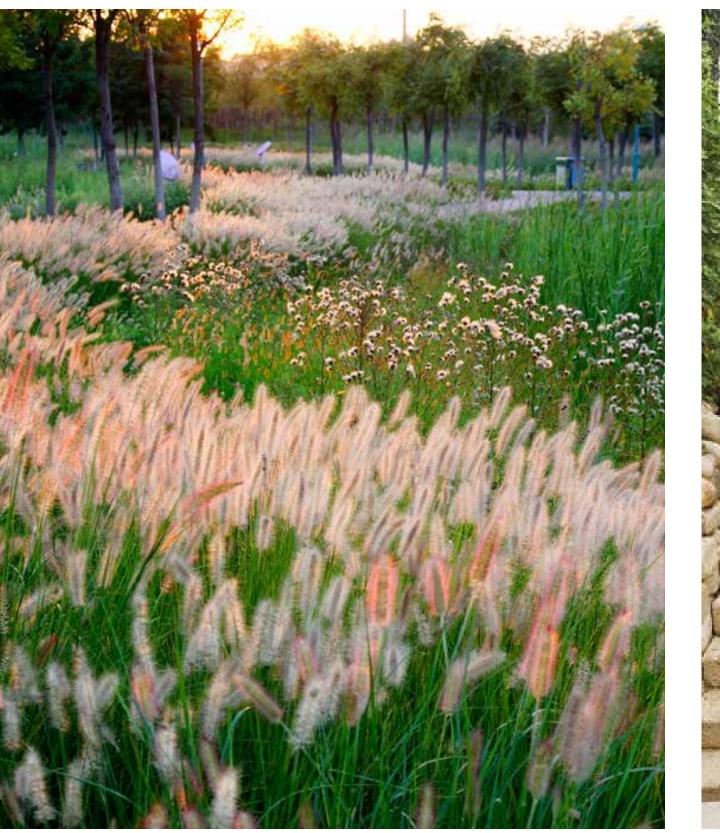




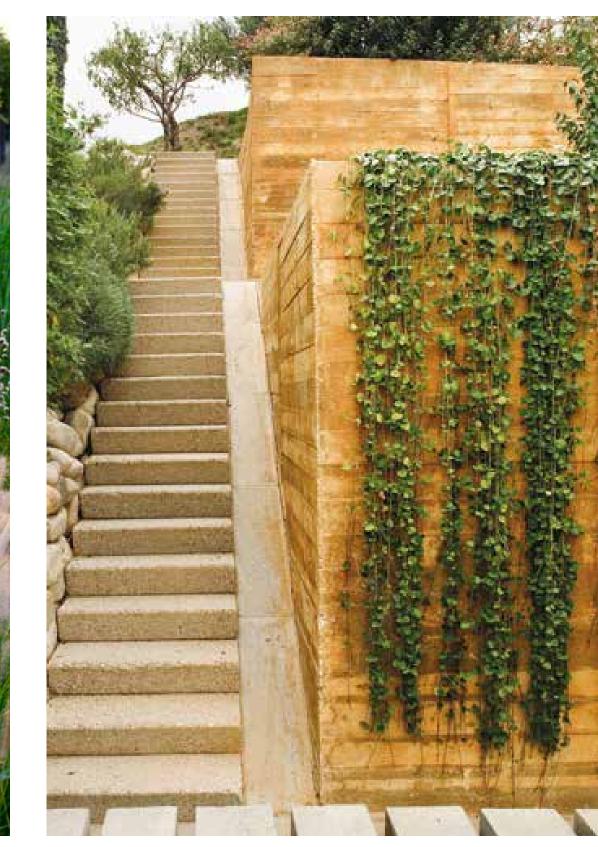




Lounge Furniture at Fire Pit (Manutti Outdoor Furniture)







Stairs with Concrete Retaining Wall

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> LANDSCAPE ARCHITECT: 40NORTH

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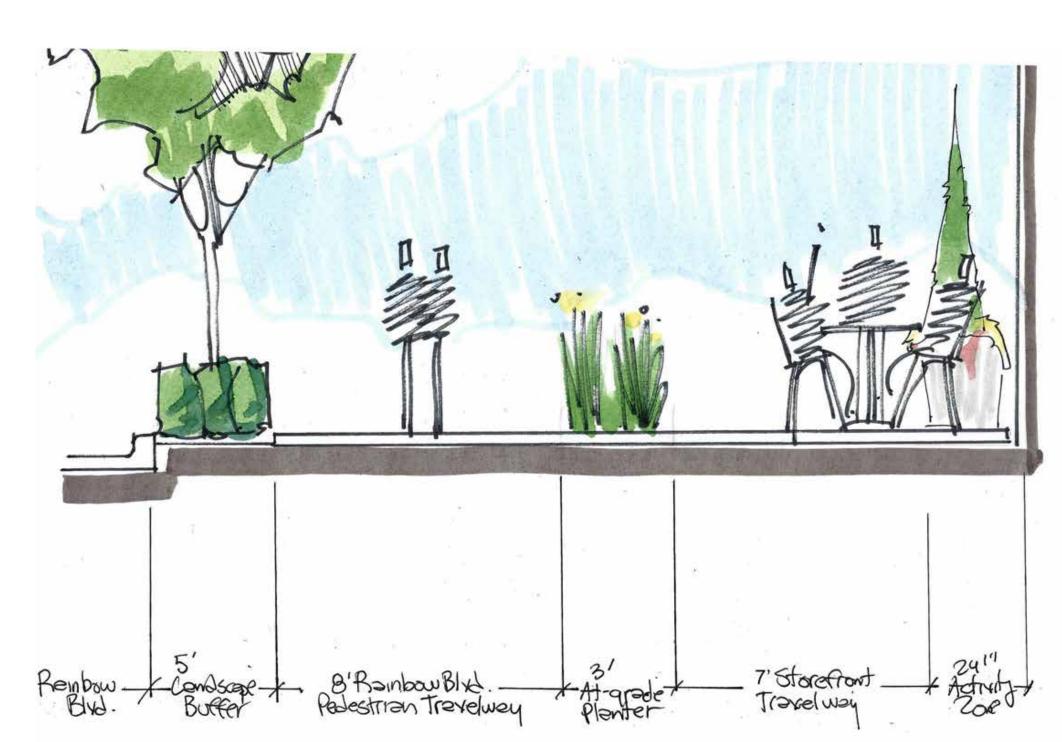
Woodside Village South - East Courtyard

Drawn By: Author Project Number: Project Number

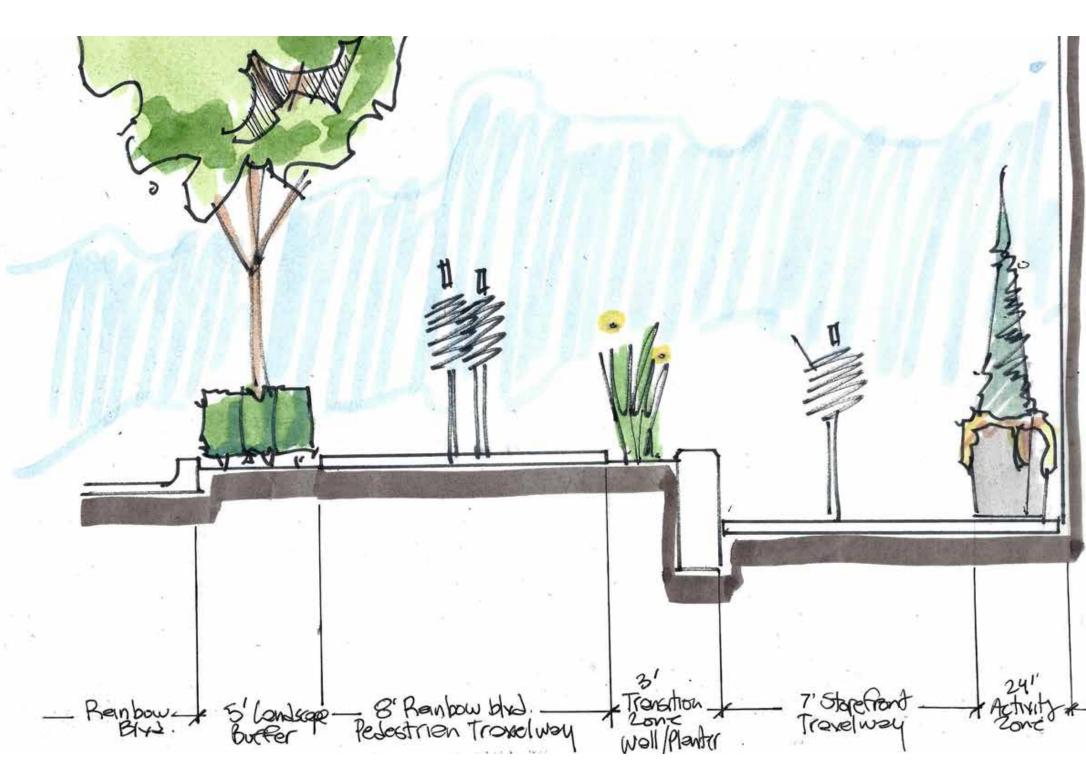
L105

EAST COURTYARD PLAN

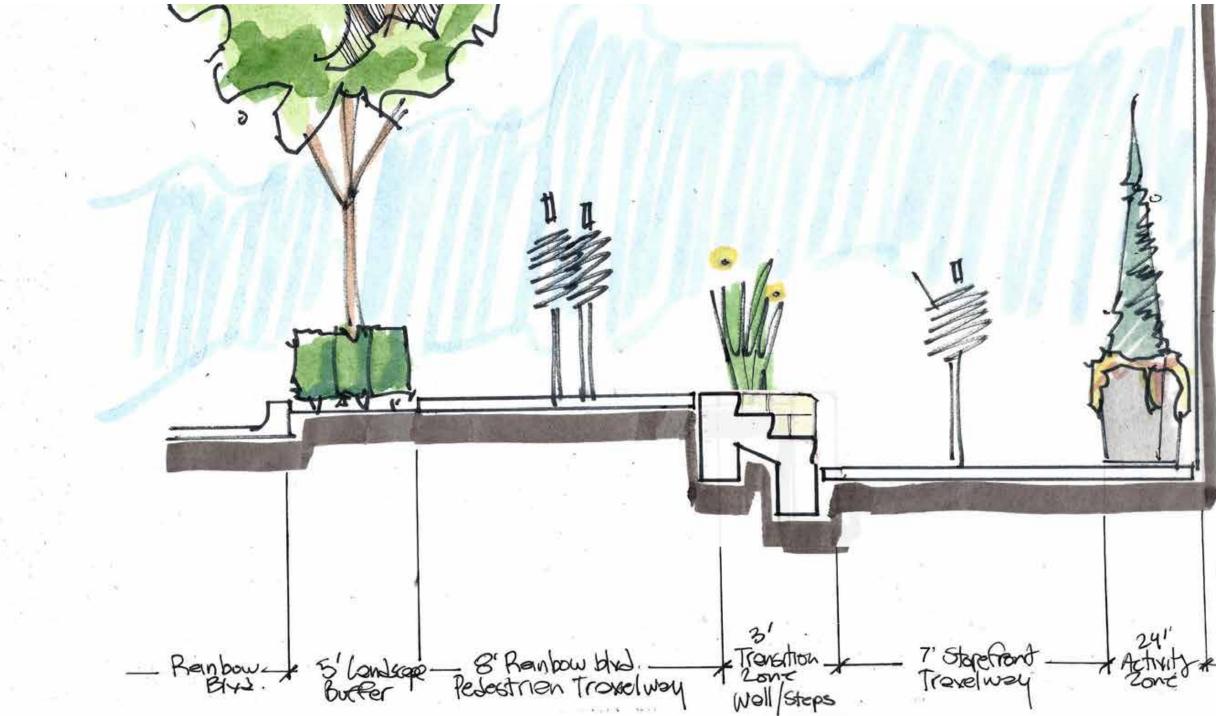
+ INSPIRATION



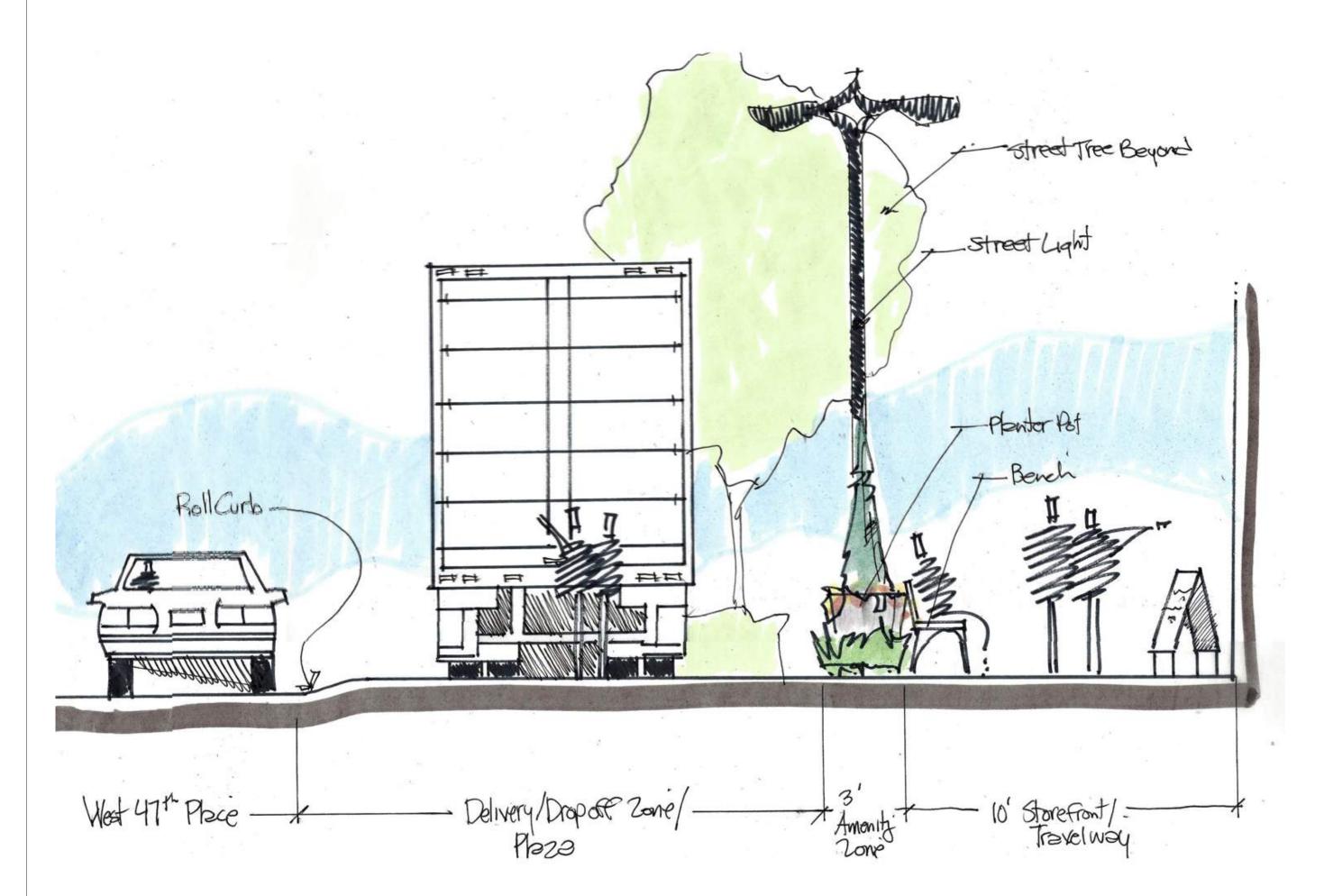
\$1 - Rainbow Streetscape Section @ Grade Scale: 3/8"=1'-0"



S2 - Rainbow Streetscape Section @ Retaining Wall Scale: 3/8"=1'-0"



S3 - Rainbow Streetscape Section @ Steps Scale: 3/8"=1'-0"



S4 - 47th Place Loading Zone/Plaza Option Scale: 3/8"=1'-0"



Woodside Village South - Streetscape Concept Sections



Woodside Village South
W 47th Place
Westwood, KS 66205

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LANDSCAPE ARCHITECT:

40NORTH

18475 Lober Road

KEY PLAN:

Final Plan Submission February 1, 2016

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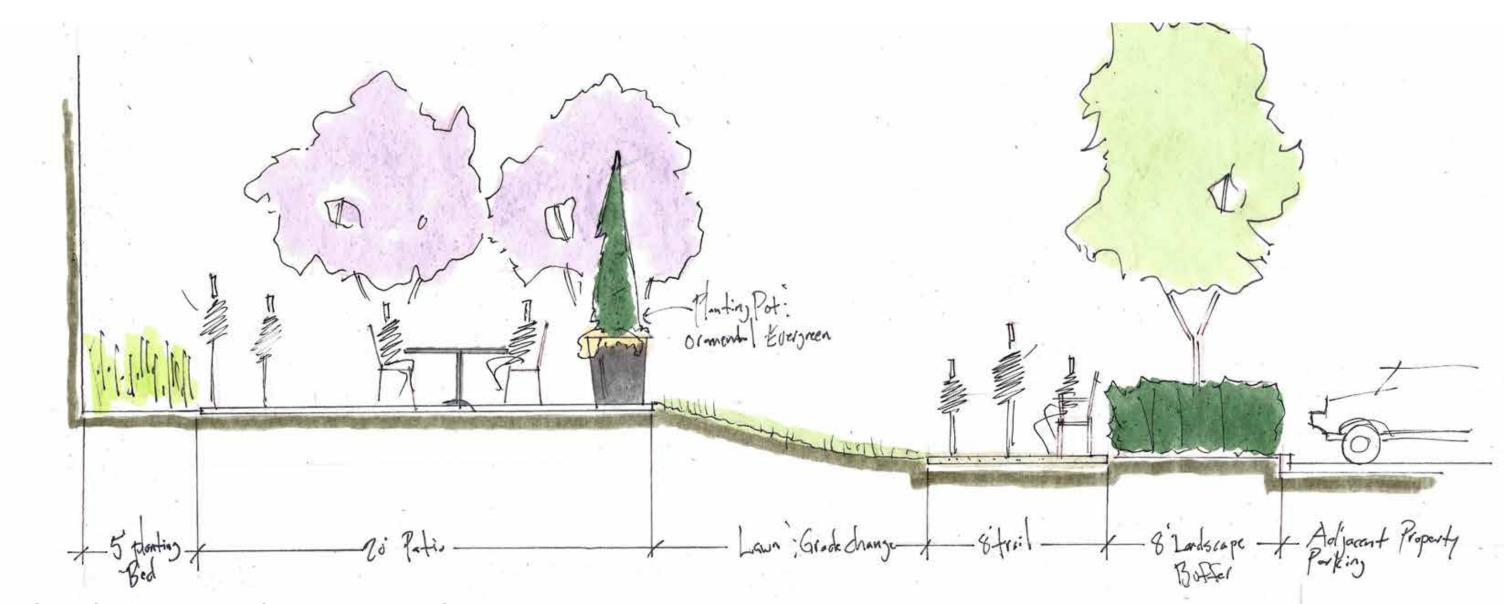
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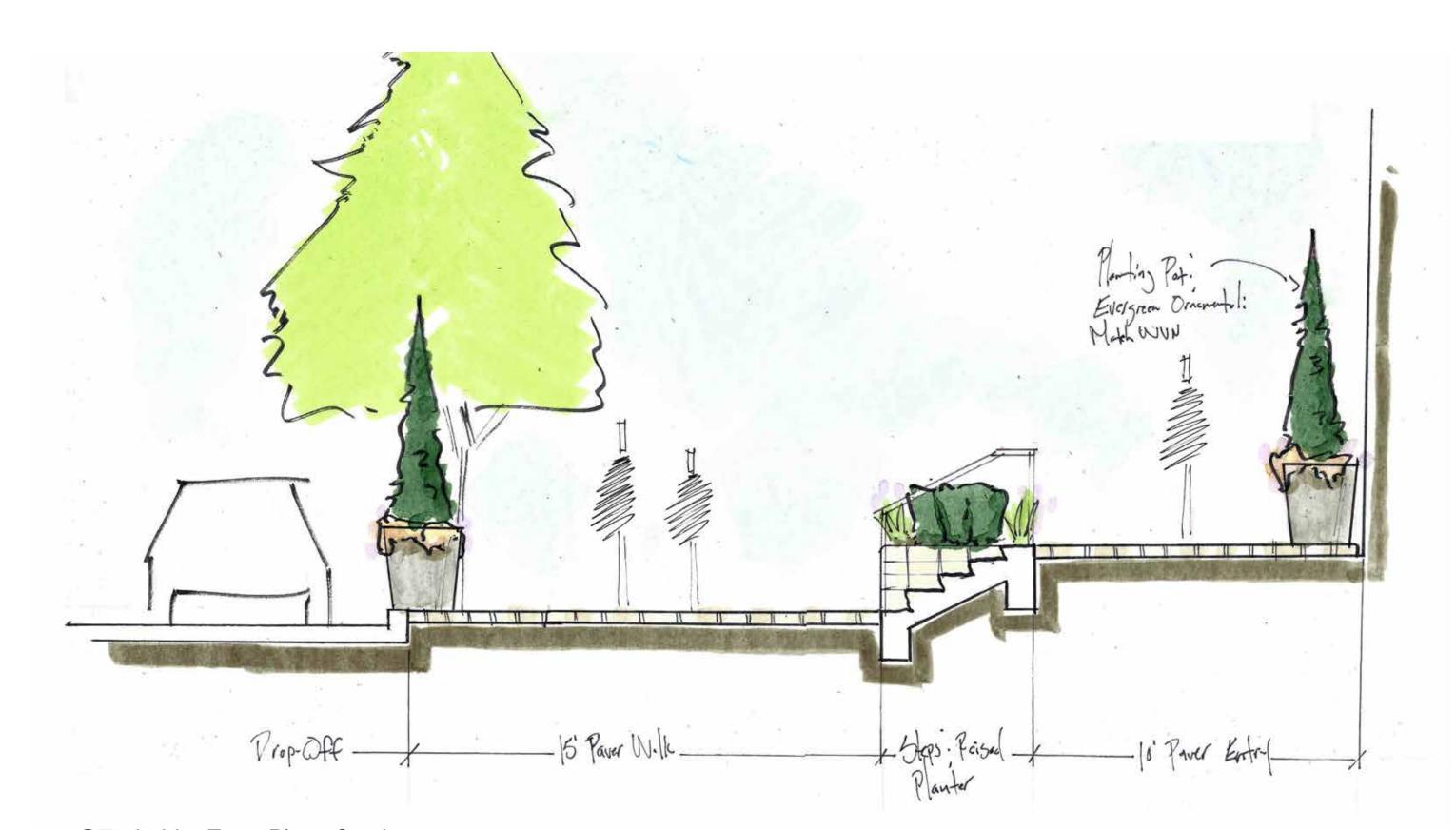
Drawn By: Author
Project Number: Project Number

SITE SECTIONS

L201



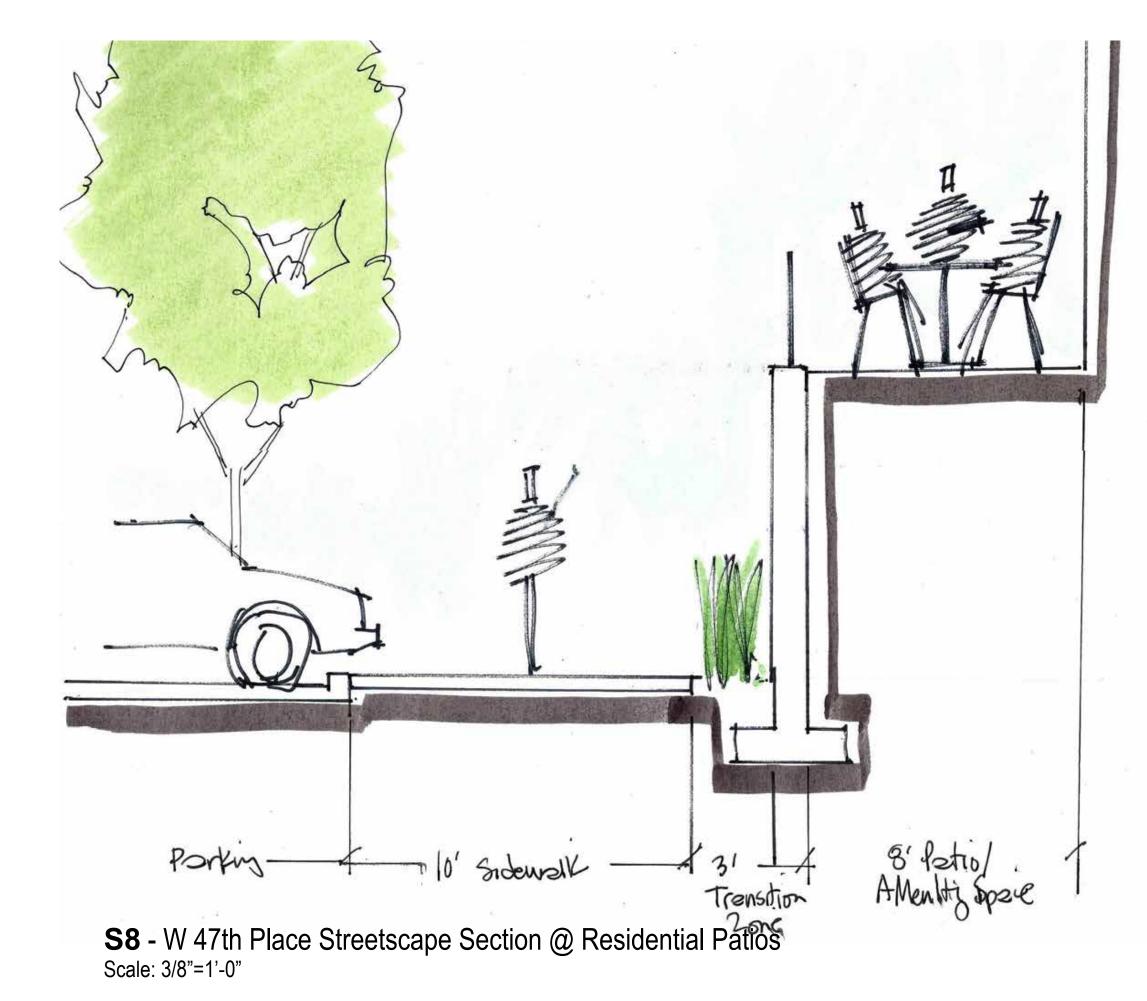
S5 - South Amenity Space and Trail Section Scale: 1/4"=1'-0"

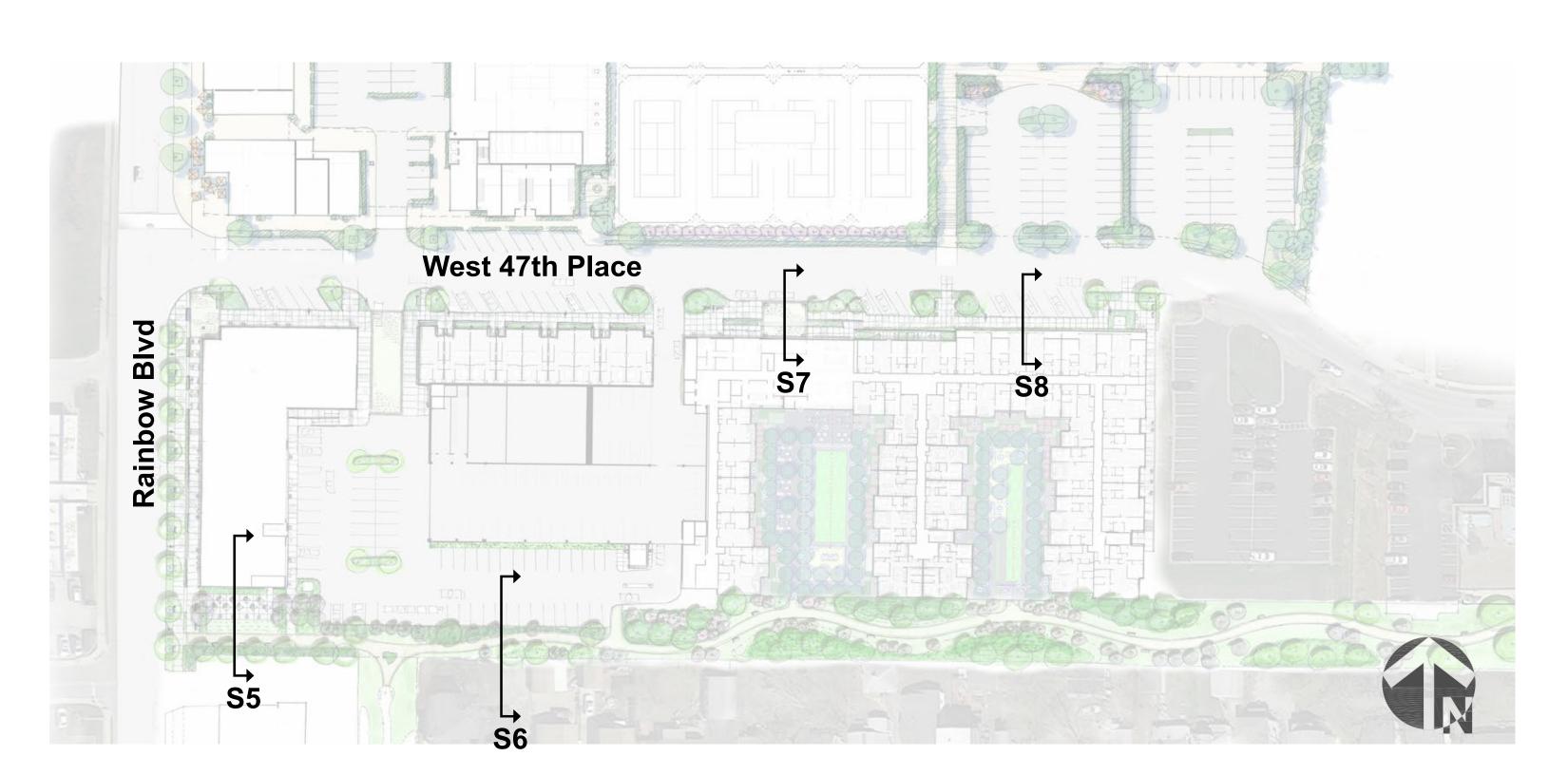


S7 - Lobby Entry Plaza Section Scale: 3/8"=1'-0"



S6 - Trail Section at Parking Lot Screen Scale: 1/4"=1'-0"





Woodside Village South - Streetscape Concept Sections

Woodside Village South W 47th Place Westwood, KS 66205

TANNER AND WHITE PROPERTIES www.tannerwhiteproperties.com

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www.hufft.com BOB D. CAMPBELL 4338 Belleview Kansas City, MO 64111 P: 816-531-8572

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LANDSCAPE ARCHITECT: 40NORTH

Final Plan Submission February 1, 2016

REVISION SCHEDULE:

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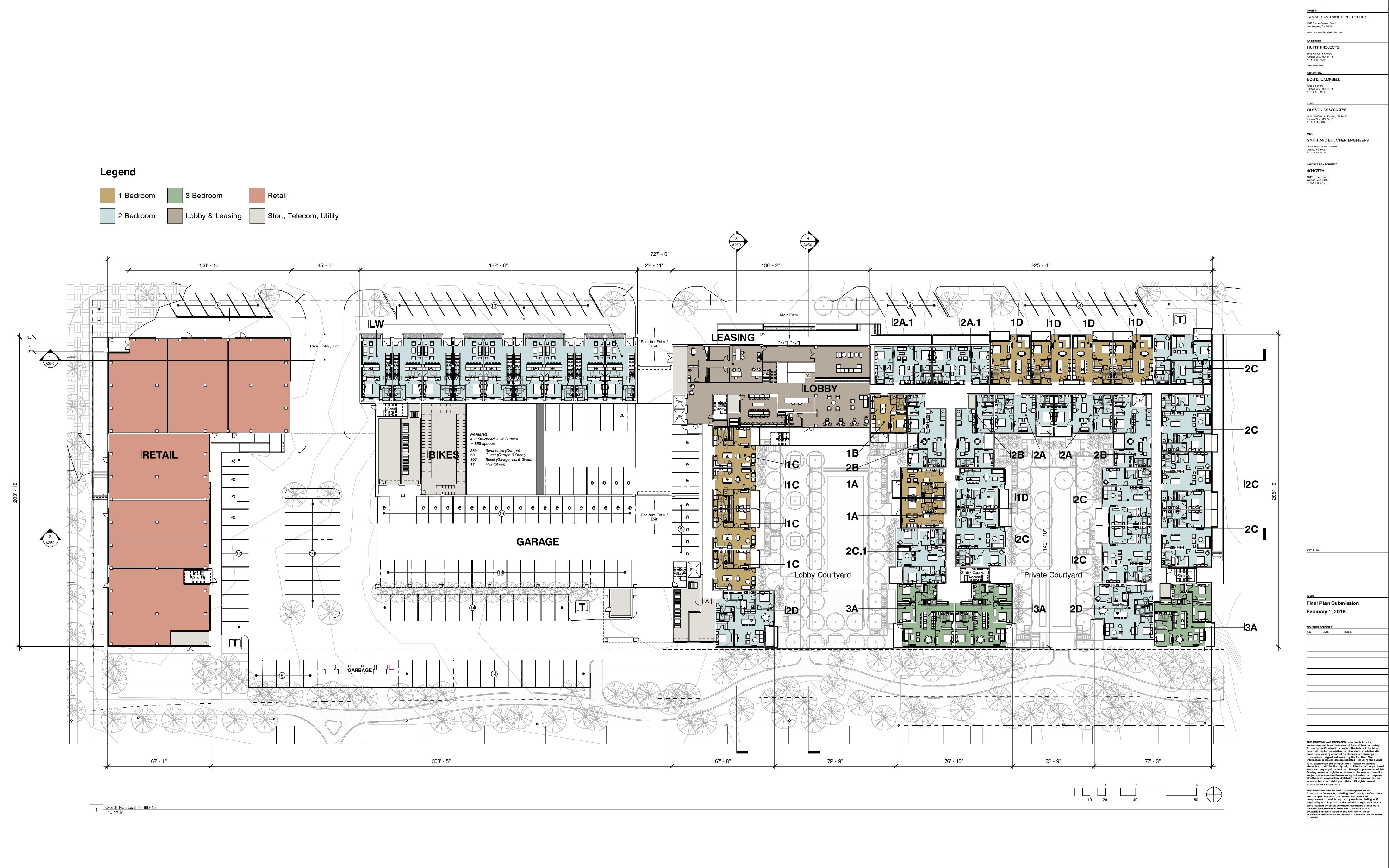
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Drawn By: Author Project Number: Project Number SITE SECTIONS

L202

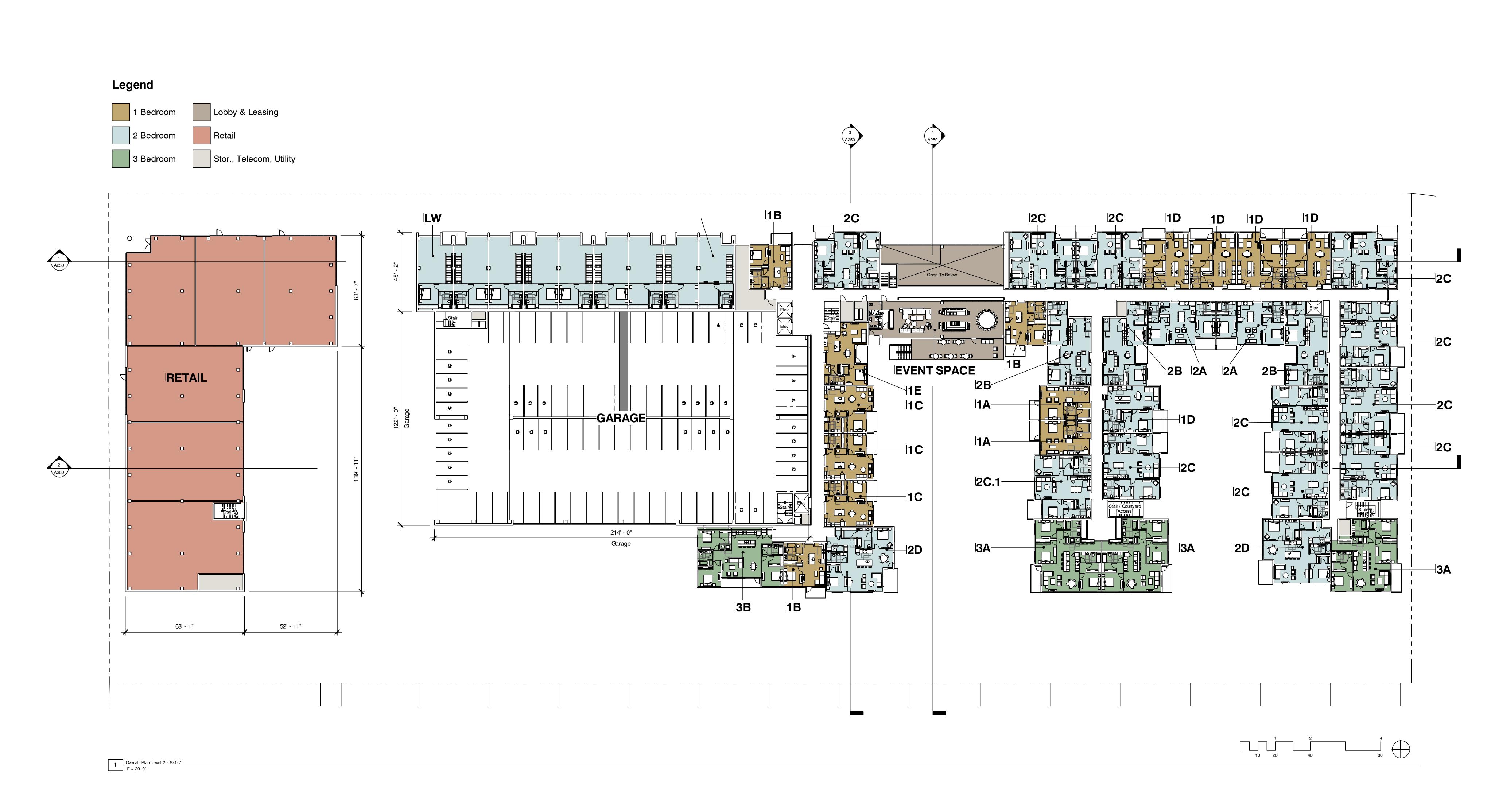
++ PROJECT INFORMATION: **Woodside Village South** W 47th Place Westwood, KS 66205 TANNER AND WHITE PROPERTIES 1545 Stone Canyon Road Los Angeles, CA 90077 www.tannerwhiteproperties.com ARCHITECT: HUFFT PROJECTS 3612 Karnes Boulevard Kansas City, MO 64111 P: 816-531-0200 www.hufft.com STRUCTURAL: BOB D. CAMPBELL 4338 Bel leview Kansas City, MO 64111 P: 816-531-8572 OLSSON ASSOCIATES 1251 NW Briarcliff Parkway, Suite 50 Kansas City, MO 64116 P: 816-474-0900 SMITH AND BOUCHER ENGINEERS 25501 West Valley Parkway Olathe, KS 66061 P: 913-344-0029 LANDSCA PE ARCHITECT: 40NORTH 18475 Lober Road Weston, MO 64098 P: 954-376-0215 Legend 1 Bedroom 3 Bedroom
2 Bedroom Stor., Telecom, Utility STORAGE Final Plan Submission THIS DRAWING WAS PREPARED under the Architect's supervision, and is an "Instrument of Service" intended solely for use by our Client on this project. The Architect disclaims responsibility for the existing building stucture, existing site conditions, existing construction elements, and drawings or documents not signed and sealed by the Architect. The information, ideas and designs indicated - including the overall form, arrangement and composition of spaces or building elements - constitutes the original, confidential, and unpublished Work and property of the Archited. Receipt or possession of this Drawing confers no right in, or license to disclose to others the subject matter contained herein for any but authorized purposes. Unauthorized reproduction, distribution or dissemination – in whole or inpart – is strictly prohibited. All rights reserved 53' - 9" 77' - 3" 217' - 7" THIS DRAWING MAY BE PART of an integrated set of Construction Documents, including the Contract, the Conditions and the Specifications. The Contract Documents are complementary: what is required by one is as binding as if required by all. Application of a material or equipment item to Work installed by others constitutes acceptance of that Work. Calculate and measure di mensions – DO NOT SCALE DRAWINGS unless directed by the Architect to do so. Dimensions indicated are to the face of a material, unless noted otherwise.



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Woodside Village South

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Westwood, KS 66205



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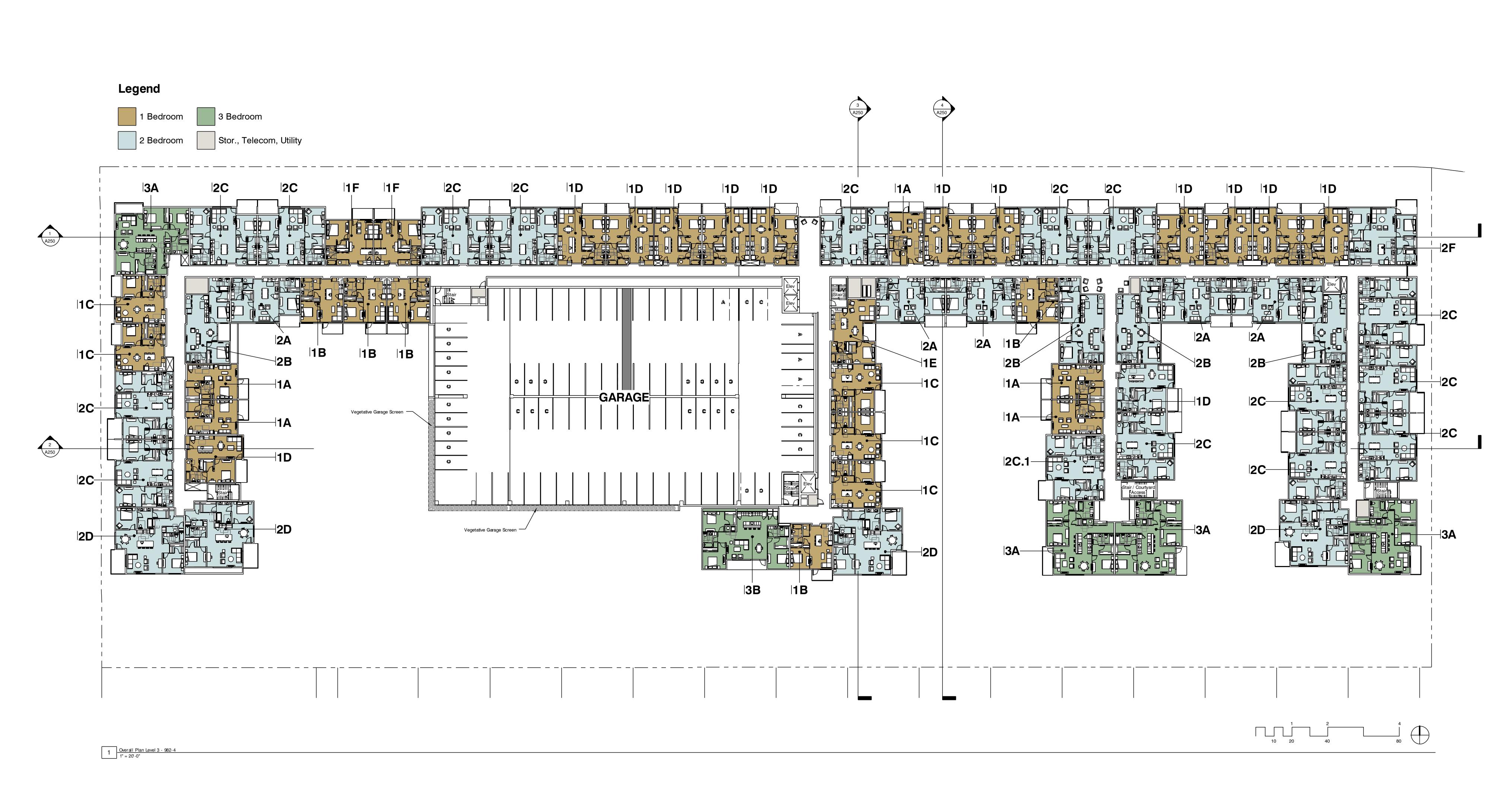
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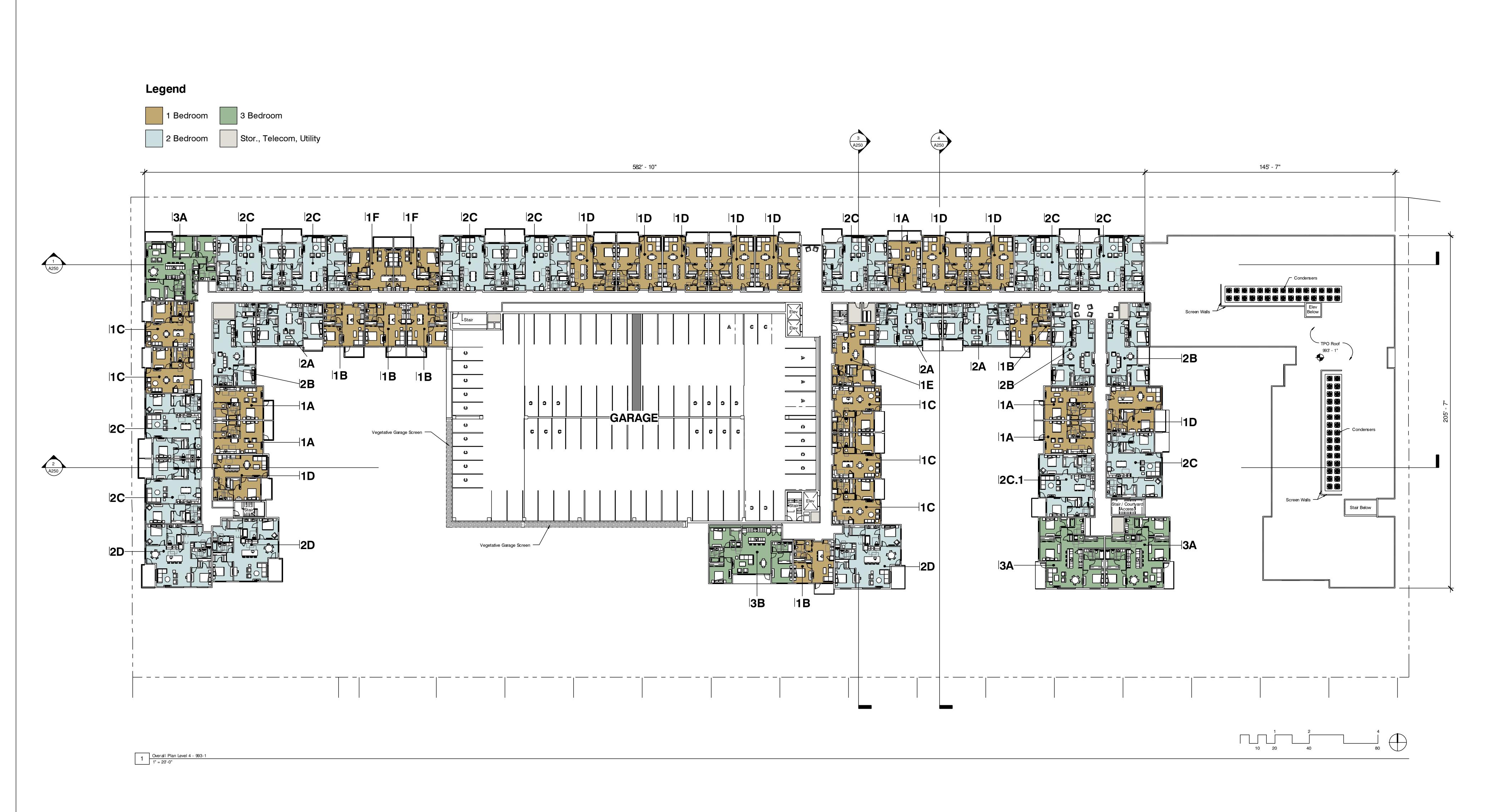
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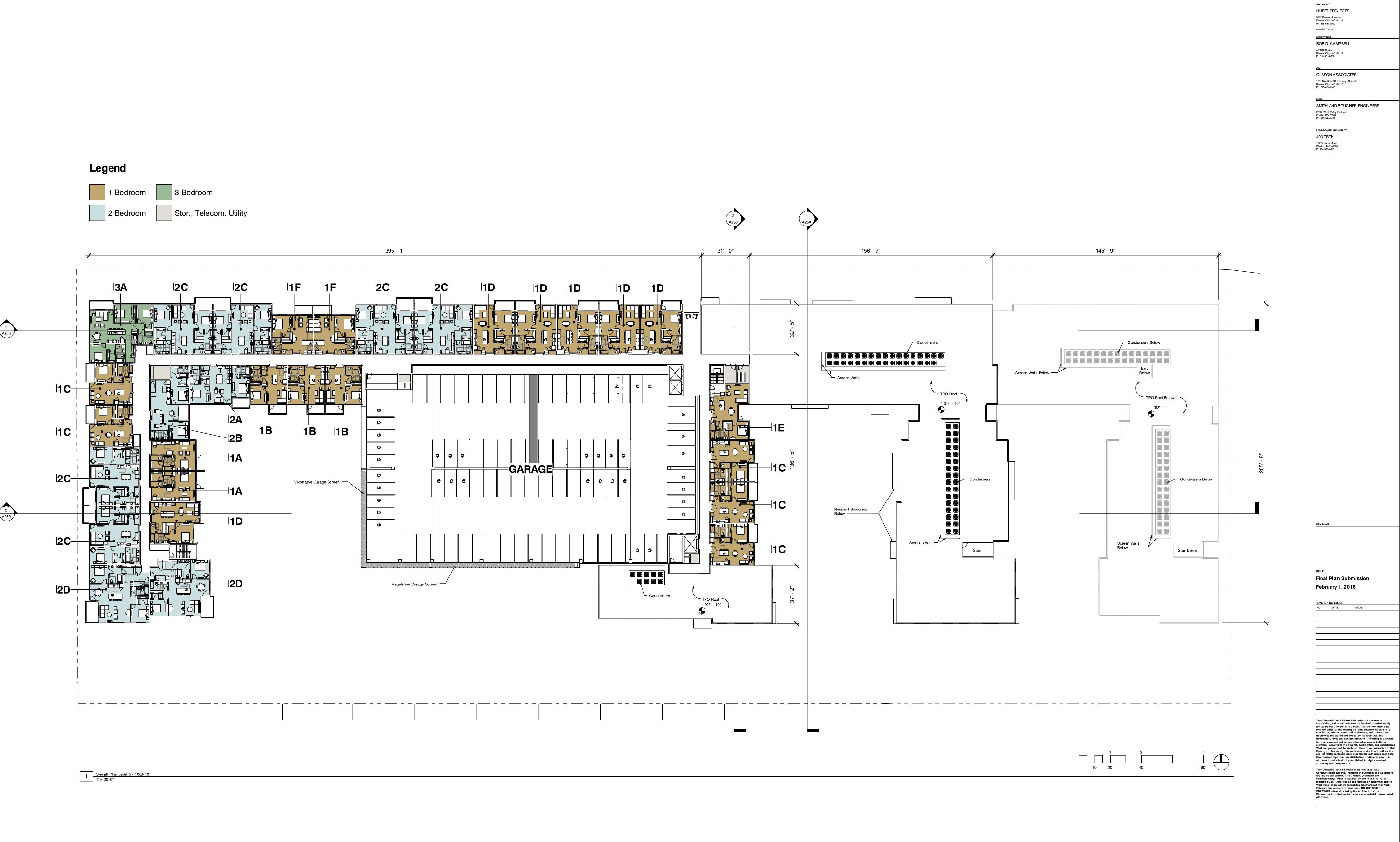
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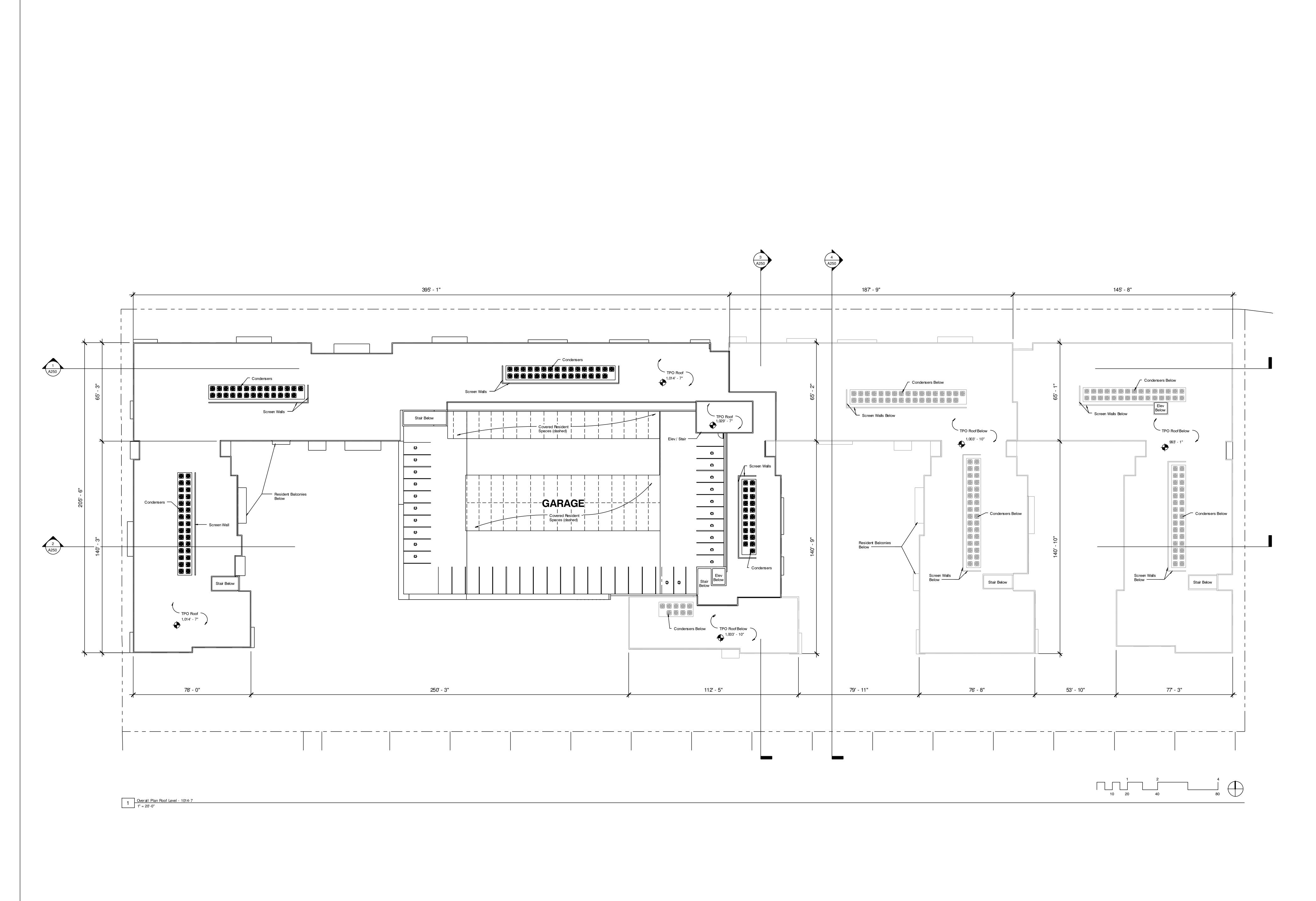
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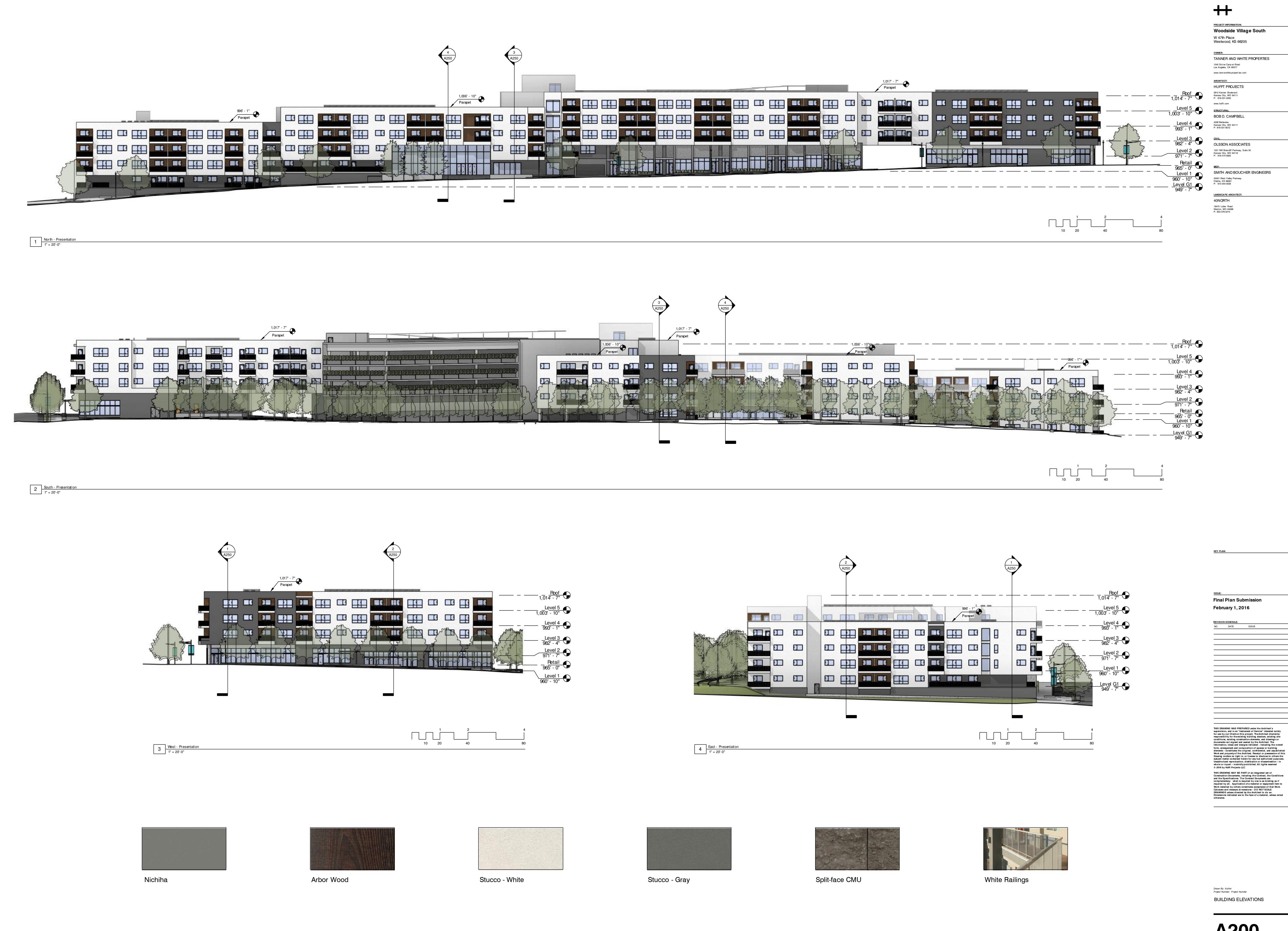
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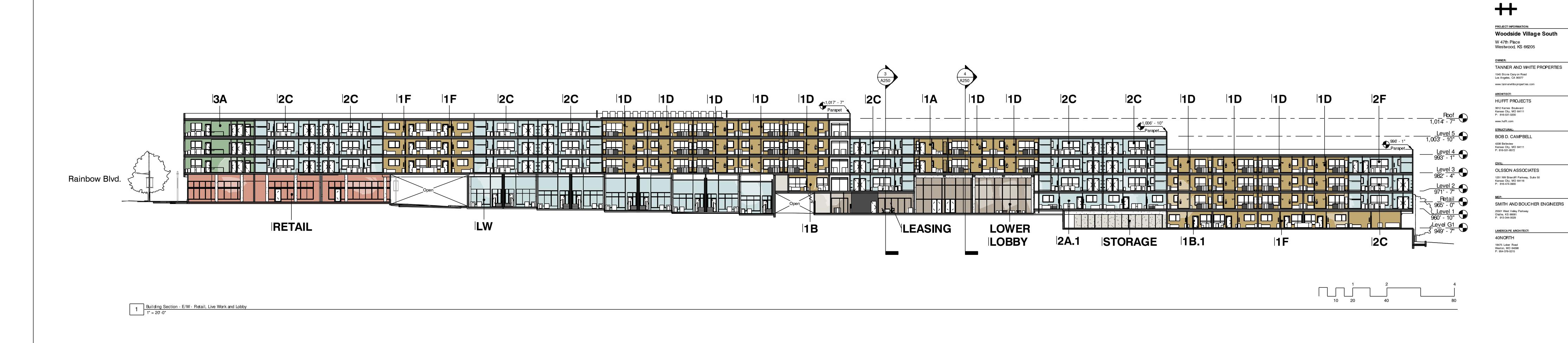
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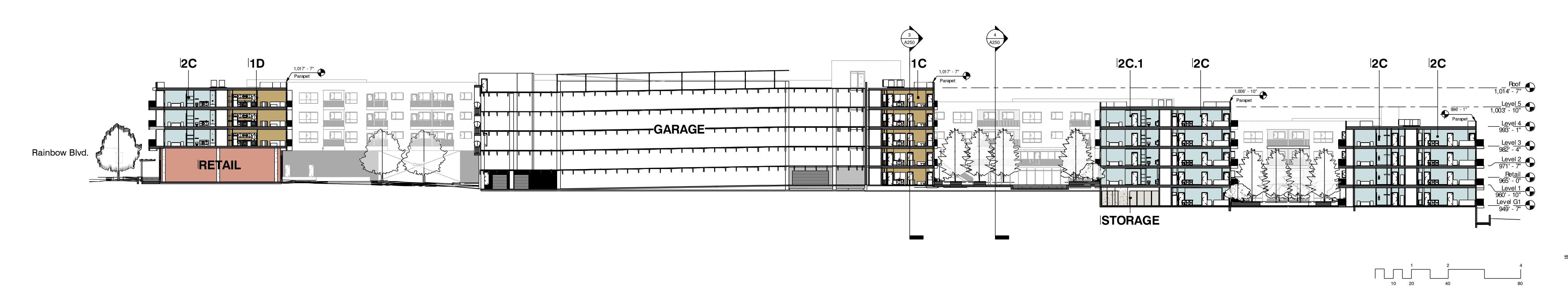
OVERALL PLAN - ROOF

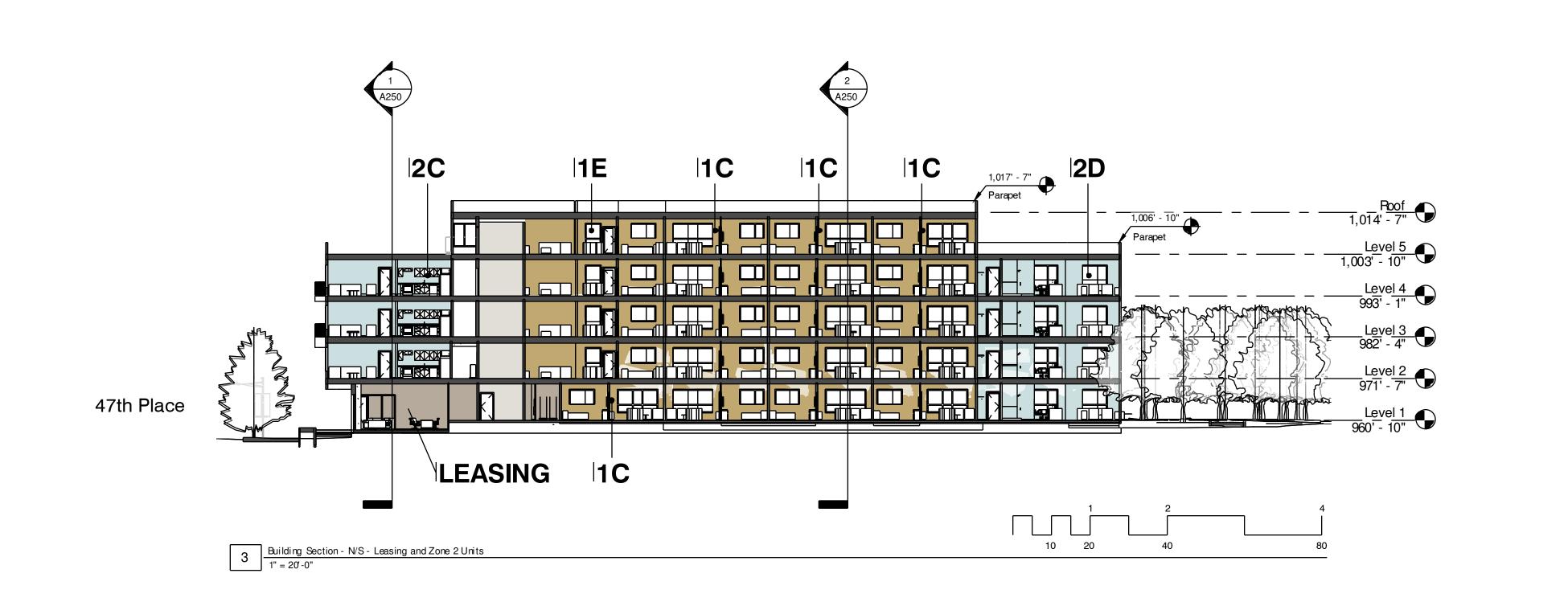
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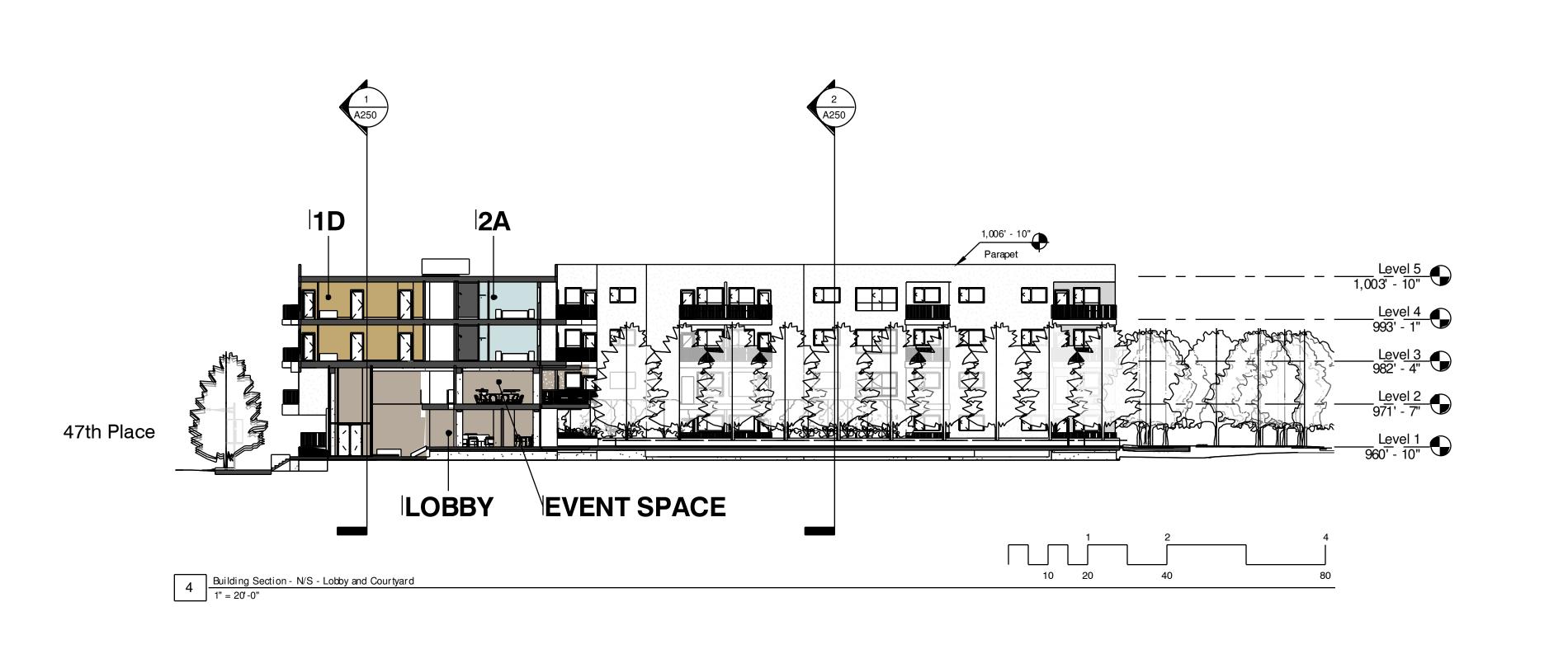


A200









Final Plan Submission
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REVISION SCHEDULE:

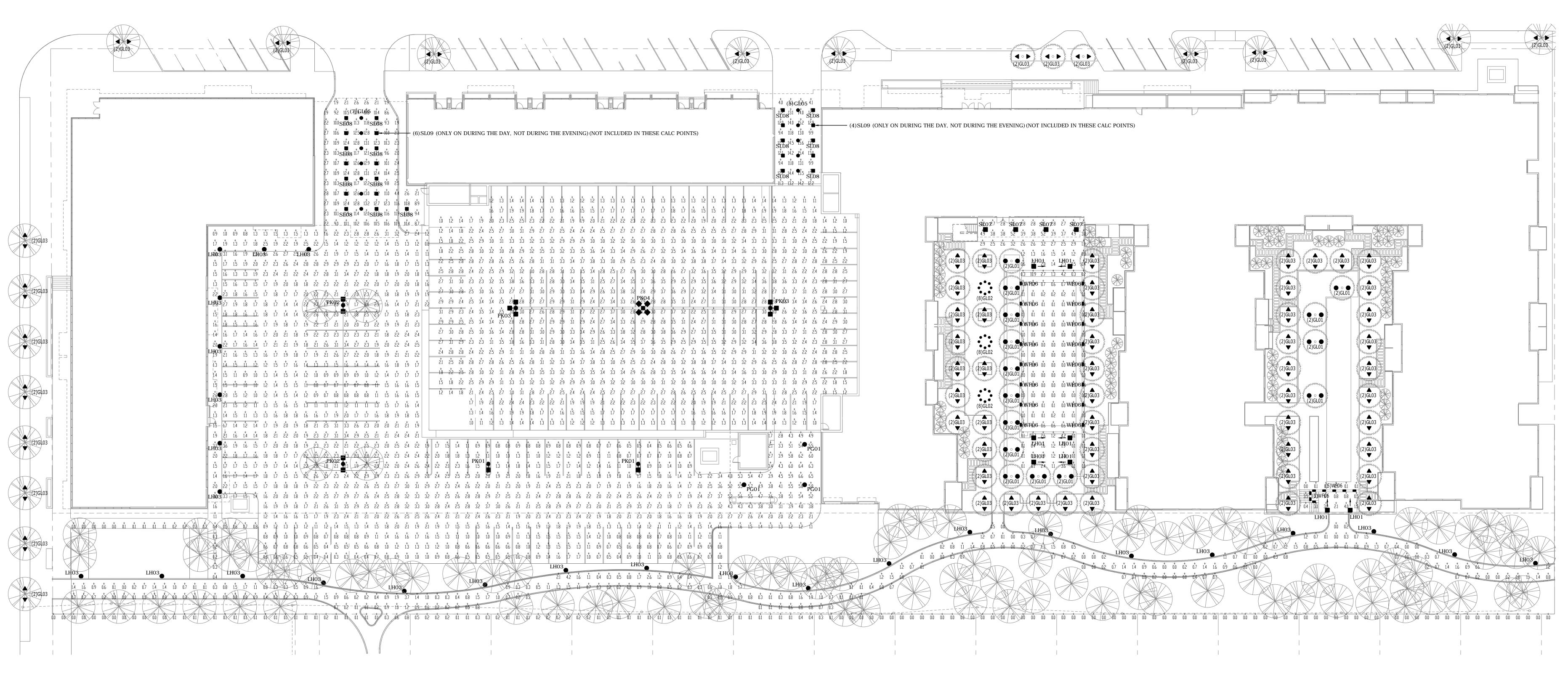
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Work installed by others constitutes acceptance of that Work.
Calculate and measure di mensions – DO NOT SCALE
DRAWINGS unless directed by the Architect to do so.
Dimensions indicated are to the face of a material, unless noted
otherwise.

Drawn By: Author
Project Number: Project Number
BUILDING SECTIONS



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CALCULATION SUMMA										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
South Site	782.30x314.40Ft	Parking / H-H	980	5.0	〈+〉	1.7	3.8	0.3	11.70	5.4
		Prop Ľine / H-H	149	5.0	〈+〉	0.1	0.8	0.0	534.0	52.7
		Canopies / H-H	201	5.0	〈+〉	8.3	15.7	1.7	9.2	4.9
		Entrances / H-H	59	5.0	〈+〉	1.9	4.9	0.8	5.9	2.3
		Sidewalk / H-H	304	5.0	〈+〉	0.6	4.2	0.0	333.3	50.2
		West Plaza / H-H	187	5.0	〈+〉	1.7	14.5	0.0	1370.2	160.8
		East Plaza / H-H	18	5.0	〈+〉	1.2	4.0	0.0	451.3	137.4
		Top Deck / H-H	909	5.0	〈+〉	2.6	3.8	1.0	4.0	2.7

	LIGHT FIXTURE SCHEDULE					
ТҮРЕ	DESCRIPTION	MOUNTING	LAMP	VOLTS	MANUFACTURER	V-A
GL01	ARCHITECTURAL WEATHERPROOF LED IN-GRADE FIXTURE WITH NARROW FLOOD DISTRIBUTION. FIXTURE CAST INTO CONCRETE SIDEWALK. SLIP RESISTANT LENS.	IN GRADE	LED 885 LUMENS DELIVERED 4000K	120	KIM LIGHTING LTV83FF-NF-12L-4K-UV-SR	14
GL02	SAME AS TYPE "GLO1" EXCEPT SMALLER APERTURE AND LOWER LUMEN OUTPUT.	IN GRADE	TBD	120	TBD	ТВІ
GL03	2.25"X3.75" SMALL SCALE LED LANDSCAPE FIXTURE. WIDE FLOOD OPTICS. SIDE MOUNT SWIVEL WITH 340 DEG TILE AND 360 DEGREE ROTATION. BRONZE FINISH.	STAKE MOUNT	LED 4000K	120/12	LUMIERE 203-CRS-6LED4041-12-BZ	6
GL05	IN-GRADE DRIVE OVER MARKER LIGHT. TWO WINDOW DISTRIBUTION. ALUMINUM GREY FINISH. METAL HALIDE LAMP. ELECTRONIC BALLAST.	IN-SLAB	(1) 39W MH T4.5 - G8.5 4000K	120	SISTEMALUX S.4826-UNV-14	44
LH01	36" TALL LED BOLLARD. METALIC GREY FINISH. INTEGRAL DRIVER. LINEAR FROSTED ACRYLIC LENS, OUTPUT IN A SINGLE DIRECTION.	CONCRETE BASE	LED 1000 LUMENS (DELIVERED) 4000K	120	A-LIGHT XA-3-LS-40-1-P-A-S-T-D	18
LH03	36" TALL LED BOLLARD. METALIC GREY FINISH. INTEGRAL DRIVER. PROVIDED WITH MOUNTING FLANGE FOR RECESSING IN CONCRETE BASE.	CONCRETE BASE	LED 563 LUMENS (DELIVERED) 4000K	120	ERCO 33404.023	24
PG01	PARKING GARAGE CANOPY FIXTURE. SUSPENDED TO BOTTOM OF CONCRETE TEES. TYPE V WIDE DISTRIBUTION. GREY FINISH.	PENDANT	LED 5000 LUMENS (DELIVERED) 4000K	120	COOPER - MCGRAW EDISON TT-B3-LED-E1-WQ-AP	45

TYPE	DESCRIPTION	MOUNTING	LAMP	VOLTS	MANUFACTURER	V-A
PK01	LED PARKING LOT FIXTURE. (1) HEAD. GREY FINISH. FULL	20'-0" X 4"	LED	120	KIM	105
	CUTOFF. INTEGRAL DRIVER. TYPE III DISTRIBUTION. ARM MOUNT.	SQ. STEEL	10467 LUMENS		1SA-ALT3P35-96L4K120-SG (WITH POLE)	
		POLE	4000K			
PK02	LED PARKING LOT FIXTURE. (2) HEADS. GREY FINISH. FULL	20'-0" X 4"	LED	120	KIM	210
	CUTOFF. INTEGRAL DRIVER. TYPE III DISTRIBUTION. ARM MOUNT.	SQ. STEEL	10467 LUMENS		2SB-ALT3P35-96L4K120-SG (WITH POLE)	
123		POLE	4000K			
PK03	LED PARKING LOT FIXTURE. (3) HEADS. GREY FINISH. FULL	20'-0" X 4"	LED	120	KIM	315
	CUTOFF. INTEGRAL DRIVER. TYPE IV DISTRIBUTION. ARM MOUNT.	SQ. STEEL	9800 LUMENS		3ST-ALT4P35-96L4K120-SG (WITH POLE)	
		POLE	4000K			
PKO4	LED PARKING LOT FIXTURE. (4) HEADS. GREY FINISH. FULL	20'-0" X 4"	LED	120	KIM	420
	CUTOFF. INTEGRAL DRIVER. TYPE IV DISTRIBUTION. ARM MOUNT.	SQ. STEEL	9800 LUMENS		4SC-ALT4P35-96L4K120-SG (WITH POLE)	
		POLE	4000K			
SL07	11" SQUARE x 4" DEEP SURFACE CANOPY FIXTURE. COMPACT	SURFACE	(2)26W DTT	120	FC LIGHTING	56
	FLUORESCENT LAMPS. ELECTRONIC BALLAST. ARCHITECT.		4100K		FCW3350-120V-PL-2/26Q-CC	
	TO CONFIRM FINISH.					
				<u> </u>		
SL08	4.5"x4.5" SQUARE APERTURE LED DOWNLIGHT. INTEGRAL	RECESSED	LED	120	PATHWAY	51
	0-10V DIMMING DRIVER. DOWNLIGHT REFLECTOR. WIDE	IN WOOD	3000 LUMENS		4SQLB-30-4K-M-4SQLB-HAZPF	
	DISTRIBUTION OPTICS.	CEILING	4000K			
SL09	4.5"x4.5" SQUARE APERTURE LED DOWNLIGHT. INTEGRAL	RECESSED	LED	120	PATHWAY	73
	0-10V DIMMING DRIVER. DOWNLIGHT REFLECTOR. WIDE	IN WOOD	5000 LUMENS		4SQLB-50-4K-M-4SQLB-HAZPF	
	DISTRIBUTION OPTICS.	CEILING	4000K			
	CHATH CALLED TOTAL WITH WHAT COLLY LIMITED			+		
WF06	9"X4" STEPLIGHT. ALUMINUM GREY FINISH.	RECESSED	(1) 18W CF	120	SISTEMALUX	20
		IN	4100K		S.4509-120V-14-S.4503A	
		CONCRETE	82 CRI			
k 						

50% DESIGN DEVELOPMENT
February 12, 2016

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REVISION SCHEDULE:

NO. DATE ISSUE

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Drawn By: Author Project Number

SITE LIGHTING - PHOTOMETRIC PLAN

STLT

ST

project number 1516300

SITE LIGHTING - PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"