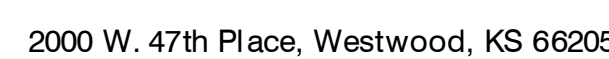


**OWNER:**  
**TANNER AND WHITE PROPERTIES**  
1545 Stone Canyon Road  
Los Angeles, CA 90077  
[www.tannerwhiteproperties.com](http://www.tannerwhiteproperties.com)

2000 W. 47th Place, Westwood, KS 66205

Final Plan Submission | February 1, 2016

**PROJECT LOCATION (NTS):**



**CLIENT:**

**Tanner + White Properties, Inc.**  
1545 Stone Canyon Road, Los Angeles, CA  
90077  
Tel: 310-476-7500

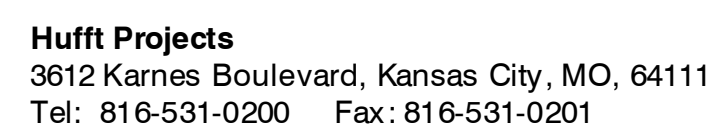
**CIVIL ENGINEER:**

## LANDSCAPE ARCHITECT:



**40NORTH**  
18475 Lober Road, Weston, MO, 64098  
Tel: 954-376-0215  
Contacts:  
John Galloway john@40northdesign.com

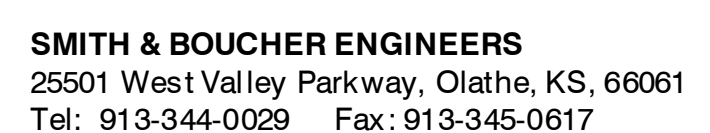
**ARCHITECT:**



**STRUCTURAL ENGINEER:**



**M.E.P. ENGINEER:**



**SHEET INDEX:**

**WOODSIDE VILLAGE SOUTH - COMPARISON DOCUMENT:**

G000	COVER SHEET / DRAWING INDEX	Preliminary Submittal Drawings		Current Plan
		Line Count	242	243
		Unit Mix	(112) 1BD, (98) 2BD, (24) 3BD, (9) L/W	(109) 1BD, (104) 2BD, (114) 3BD, (9) L/W
C10D	TITLE SHEET	Total Parking	473	550
C20D	GENERAL LAYOUT PLAN	Parking Garage Height	(1) Level below grade, (4) Levels above grade	(5) 1/2 Levels above grade
C30D	OVERALL GRADING PLAN	Parking Garage Setback from Property Line	50'-4"	91'-0"
C40D	UTILITY PLAN	Materials	Stone, Stucco, Wood, Pre-finished Panel	Spallbase CMU, Stucco, Wood, Pre-finished Panel
L101	OVERALL LANDSCAPE PLAN			
L102	COURTYARD DRAINAGE PLANS			
L103	ENLARGED COURTYARD PLANS			
L104	WEST COURTYARD PLAN + INSPIRATION			
L105	EAST COURTYARD PLAN + INSPIRATION			
L201	SITE SECTIONS			
L202				
A100	OVERALL PLAN - LEVEL G1			
A101	OVERALL PLAN - LEVEL 1			
A102	OVERALL PLAN - LEVEL 2			
A103	OVERALL PLAN - LEVEL 3			
A104	OVERALL PLAN - LEVEL 4			
A105	OVERALL PLAN - LEVEL 5			
A106	OVERALL PLAN - ROOF			
A200	BUILDING ELEVATIONS			
A250	BUILDING SECTIONS			
SLTGT	SITE LIGHTING - PHOTOMICRIC PLAN			

### KEY PLAN

**ISSUE:** \_\_\_\_\_

**Final Plan Submission**  
**February 1, 2016**

REVISION SCHEDULE:

[illegible][illegible]

Drawn By: Author  
Project Number: Project Number

COVER SHEET / DRAWING INDEX

# G000

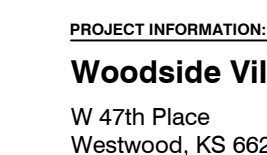












**OWNER:**  
**TANNER AND WHITE PROPERTIES**  
1545 Stone Canyon Road  
Los Angeles, CA 90077  
[www.tannerwhiteproperties.com](http://www.tannerwhiteproperties.com)

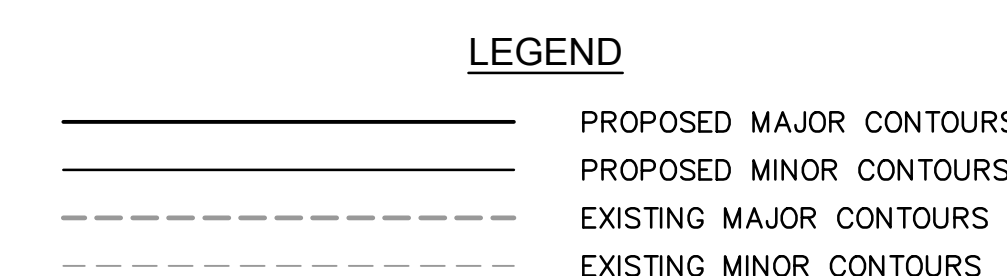
**ARCHITECT:**  
**HUFFT PROJECTS**  
3612 Karnes Boulevard  
Kansas City, MO 64111  
P: 816-531-0200  
[www.hufft.com](http://www.hufft.com)

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**CML:**  
**OLSSON ASSOCIATES**  
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**SMITH AND BOUCHER ENGINEERS**  
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Olathe, KS 66061  
P: 620.344.0000

**LANDSCAPE ARCHITECT**  
**40NORTH**  
10475 Lober Road  
Weston, MD 20858  
P: 954-378-0215



GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES SHALL NOT BE NEGLIGENT. THE CONTRACTOR SHALL PROVIDE FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE BEFORE THE DRAINAGE DITCHES ARE EXCAVATED.
2. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT FOR DISCUSSION OF OBSERVED EROSION AND RECOMMENDATIONS AND ALL ADDENDUMS FOR ADDITIONAL REQUIREMENTS.
3. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF EXISTING TOP OF FOUNDATION AND EXISTING GRADE OF SLABS, ETC. REFER TO TYPICAL CROSS SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
5. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
6. THE CONTRACTOR SHALL PROVIDE DRAINAGE DITCHES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN PAVING DRIVESCAPE AND SIDEWALKS.
7. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS. THE LOCATION OF THE PROPOSED DRAINAGE DITCHES AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PROVIDED BY ALPHA-OMEGA GEOTECH CONSULTANTS.

## NOTES

**NOTES**  
ALL UTILITIES EXCEPT STORM  
SEWER ARE NOT SHOWN FOR  
GRADING PLAN CLARITY

**BENCHMARKS**  
GPS POINT 1008  
ELEVATION: 966.85  
(SEE GENERAL LAYOUT PLAN FOR LOCATION)

## BENCHMARKS

GPS POINT 1008  
ELEVATION: 966.85  
(SEE GENERAL LAYOUT PLAN FOR LOCATION)



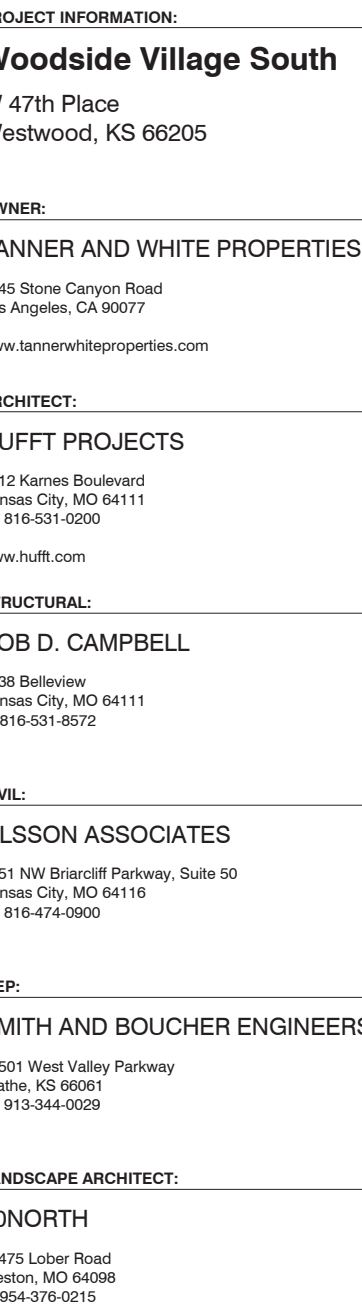
OVERALL GRADING PLAN

## C300









**A** RAINBOW BLVD STOREFRONT ZONE  
8' wide walking area and a 24' wide activity zone that accommodates planters, business kiosks and occasional cafe style seating.

**B** RAINBOW BLVD STREETScape PEDESTRIAN TRAVEL WAY  
10' wide pedestrian walk way w/ bench seating at each street tree.

**C** RAINBOW BLVD STREETScape TRANSITION ZONE  
series of small retaining walls and steps that transition the grade difference between Rainbow Blvd and the storefront finished floor elevation. A continuous Horsetail native plant species fronts the continuous wall providing a clean, modern and unifying element along the entire Rainbow Blvd streetscape.

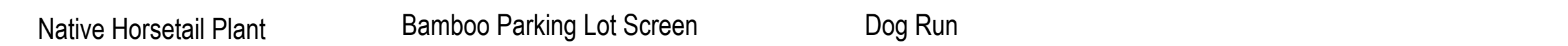
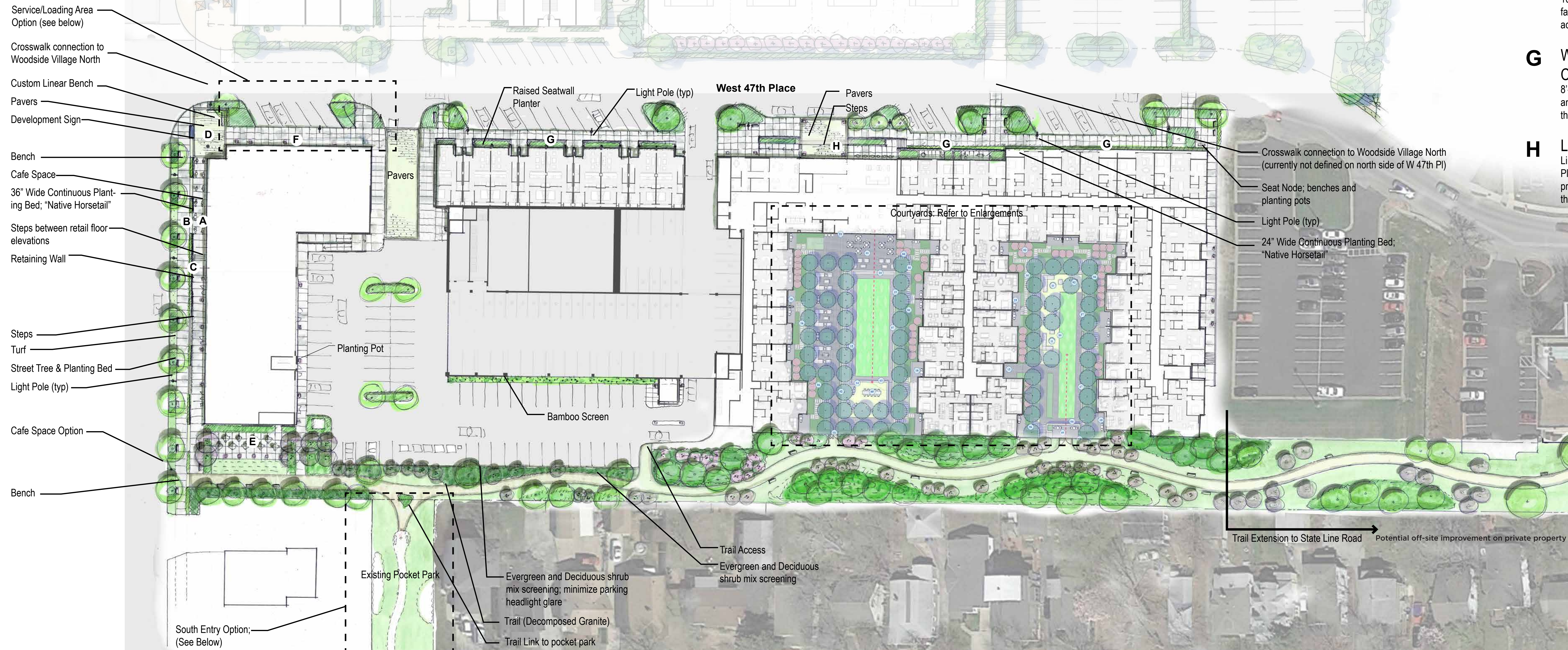
**D** STREETScape CORNER AMENITY SPACE  
Limestone pavers that link both Rainbow Blvd and West 47th Place streetscapes. Provides seating pockets with custom linear wood benches that play off architectural styles and courtyard furnishings. The primary development signage is located within this space.

**E** SOUTH AMENITY AREA  
This area can provide multiple programs and uses that can support the adjacent business type. Current concept shows a patio/cafe space that could support a coffee shop or similar service.

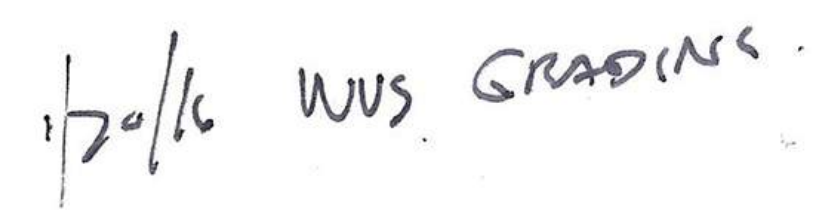
**F** W 47TH PLACE RETAIL STOREFRONT  
10'-15' wide pedestrian walk way w/ occasional planters at the building face. This space is intended to stay open and not "over-programmed" to accommodate business deliveries.

**G** W 47TH PLACE RESIDENTIAL STREETScape  
8'-10' wide pedestrian walk way. Raised planters provide a seatwall amenity. Further east, the Horsetail native plant species continues that theme along the bottom of building face.

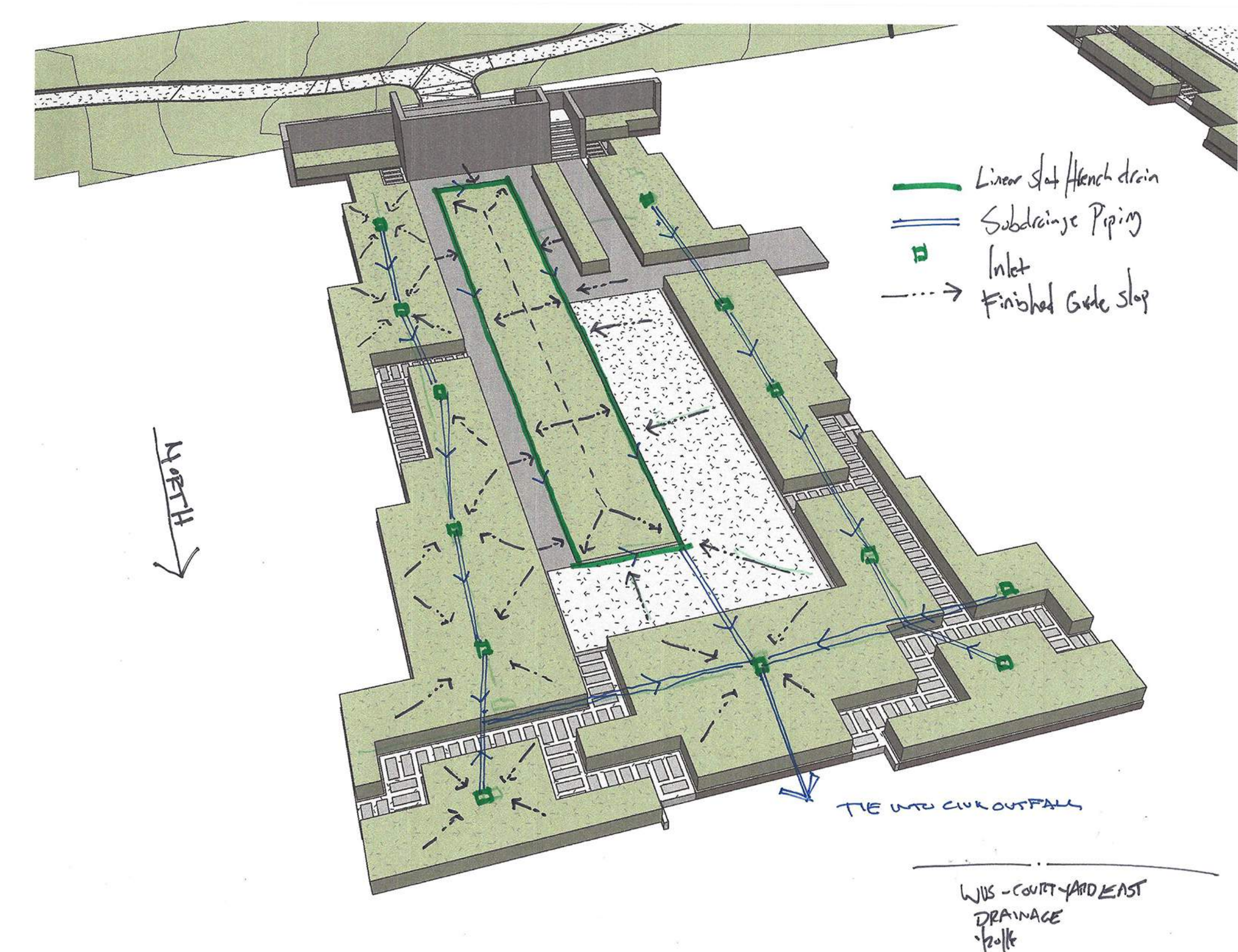
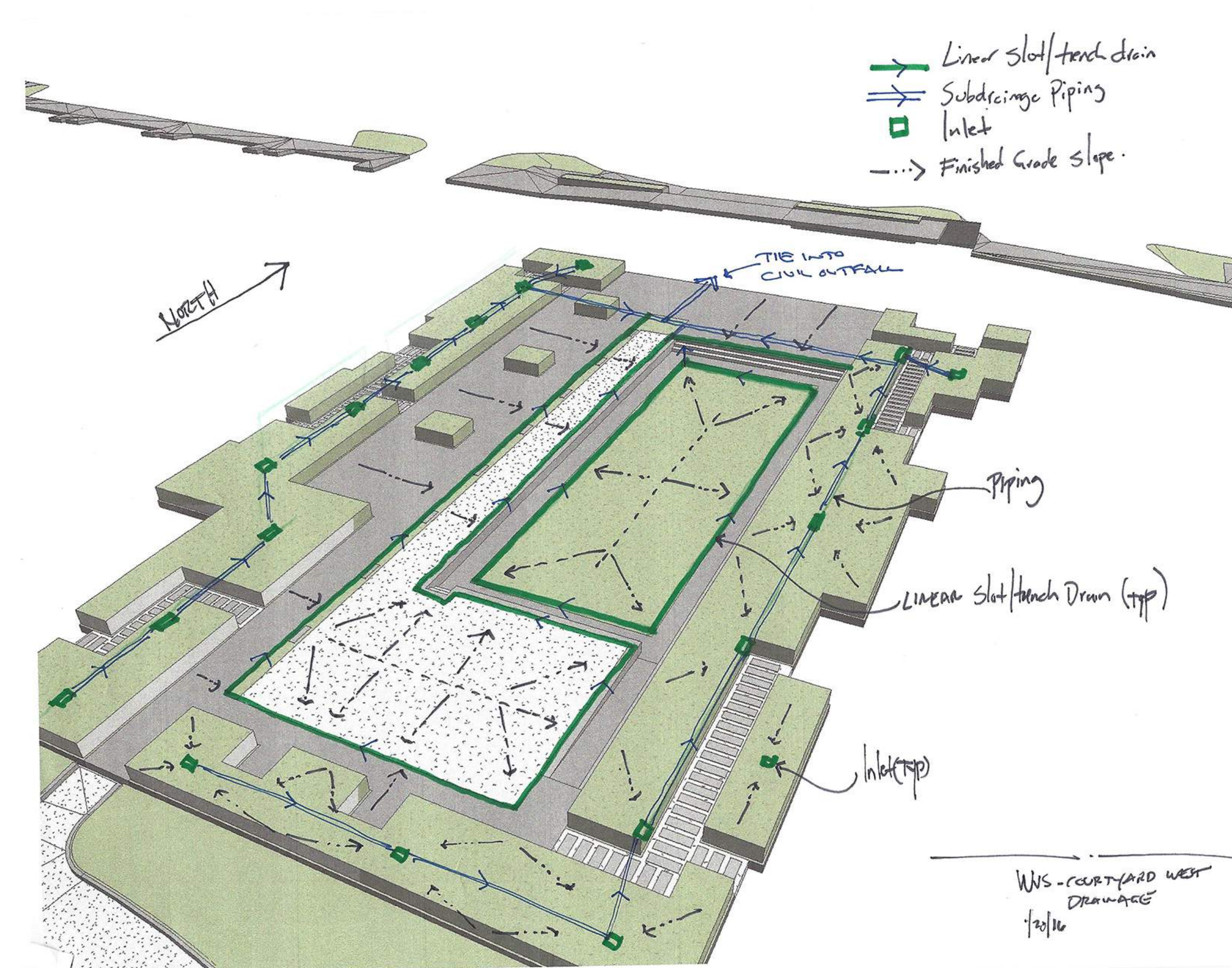
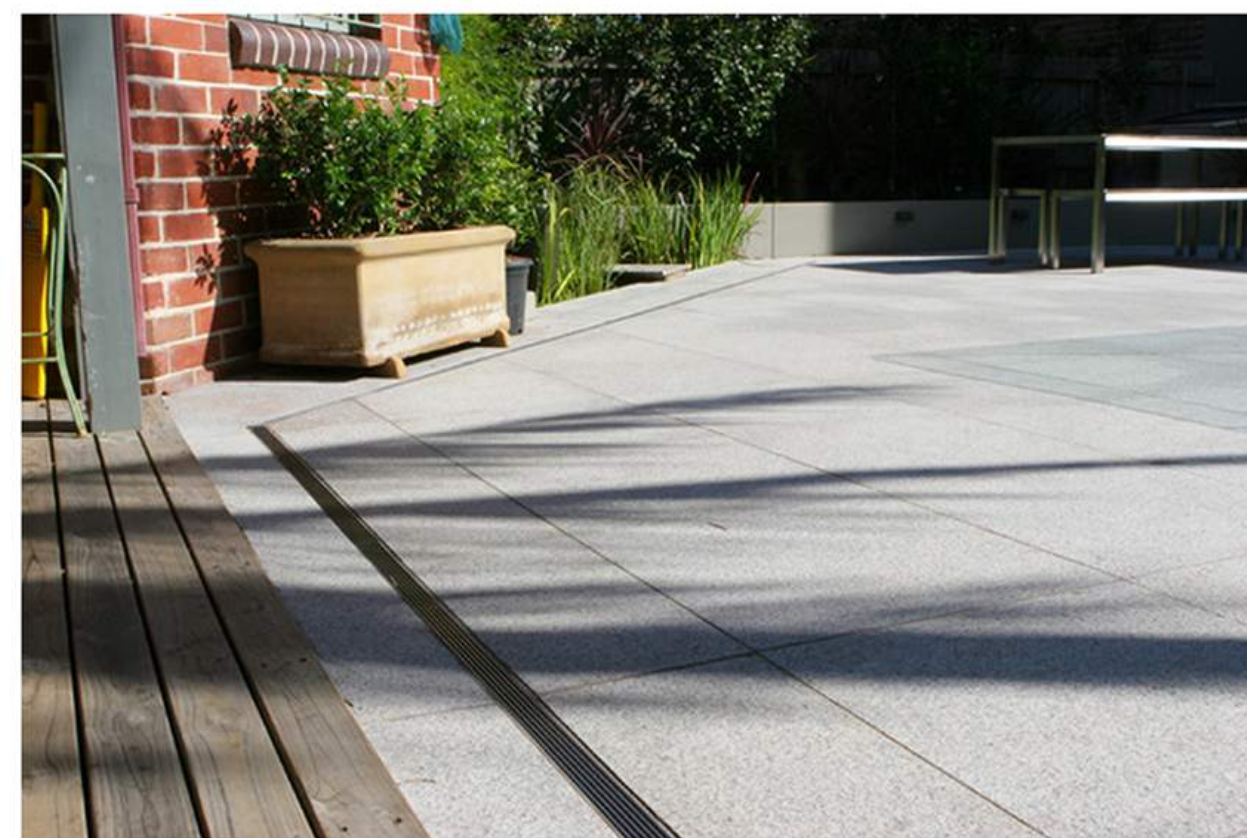
**H** LOBBY ENTRY PLAZA  
Limestone pavers including step pavers that celebrate this main entry. Planting pots anchor the corners of the space and seating pockets are provided throughout. Potential outdoor cafe style seating at the top of the steps.







A close-up photograph showing a decorative metal edging strip with a repeating leaf pattern. The strip is positioned between a light-colored concrete path and a green lawn.

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**WARNINGS** (unless directed by the Architect) to do so. (Warnings indicated are on the face of the drawing, unless noted

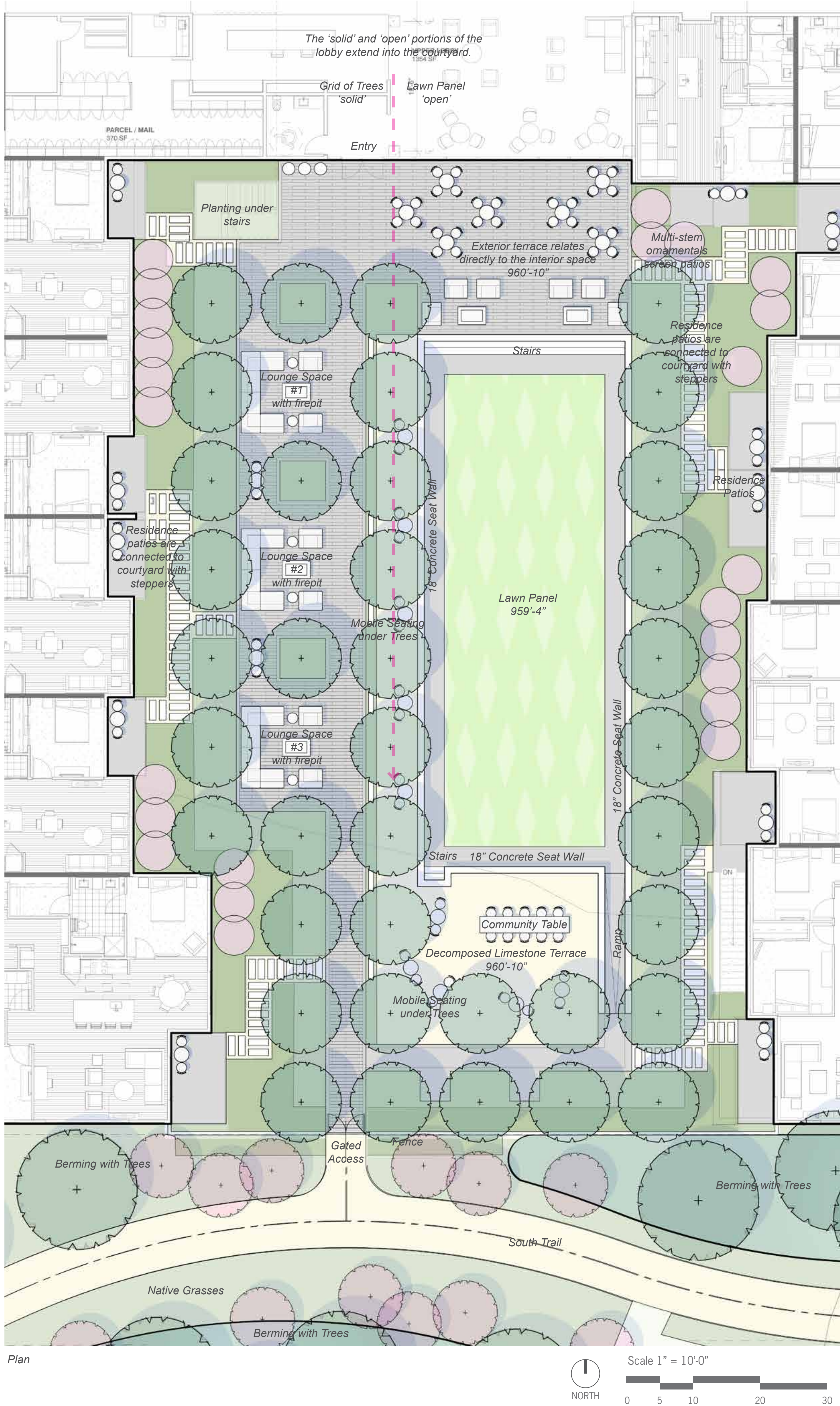
Project Name: Project Number

COURTYARD DRAINAGE  
PLANS









Columnar Baldcypress



Winter Structure



Fall Color



Multi-stem Ornamental



Redtwig Dogwood



Ivory Halo Dogwood



Hosta



Inkberry Holly



Lighting in Concrete Wall



Integration of Steppers and Decomposed Limestone



Concrete Gas Firepit (controlled by remote), wood table top for summer



Tree Uplighting



Open Lawn with Mobile Furniture



Community Table



Concrete Pavers



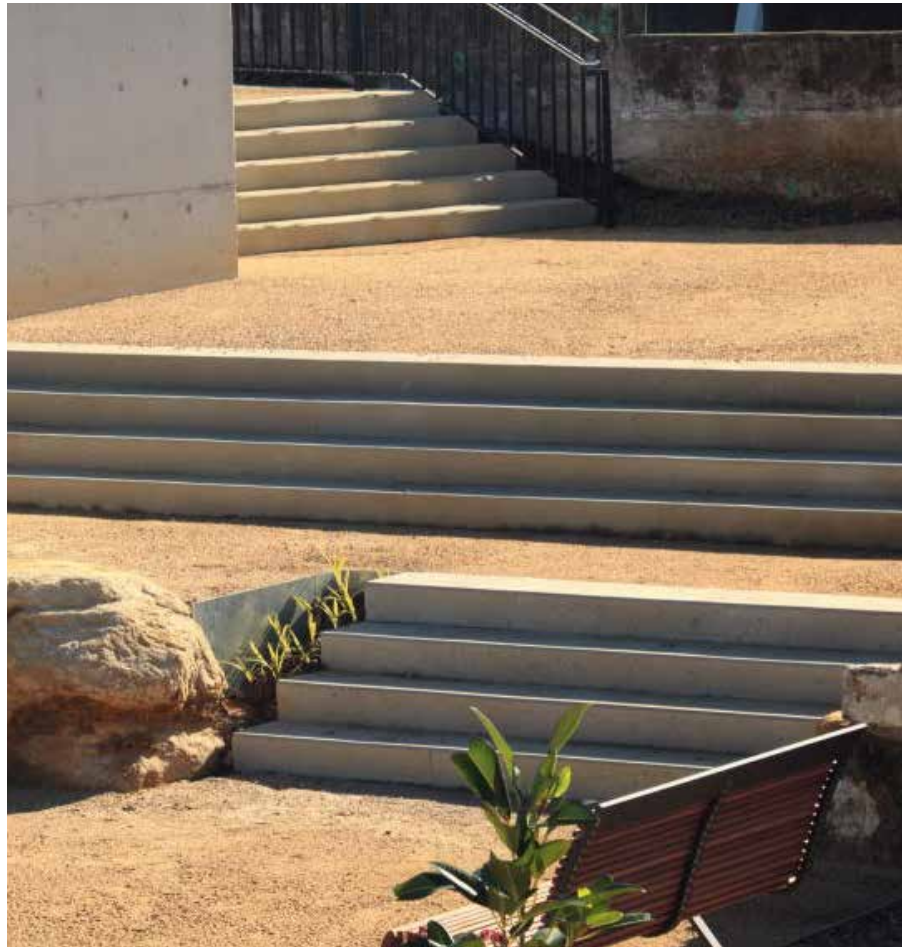
Lounge Space Furniture (Manutti Outdoor Furniture)



Planters at Residence Private Patios and Entries



Trees and Decomposed Limestone



Concrete Steps with Decomposed Limestone



Fence Screening Along South Trail



Hydrangeas



PROJECT INFORMATION

**Woodside Village South**  
W 4th Place  
Westwood, KS 66205

OWNER

**TANNER AND WHITE PROPERTIES**  
1000 Avenue of the Stars  
Los Angeles, CA 90017  
www.tannerandwhite.com

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Kansas City, MO 64116  
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MEP

**SMITH AND BOUCHER ENGINEERS**  
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Overland Park, KS 66204  
P: 913.666.0000

LANDSCAPE ARCHITECT

**4NORTH**  
18475 Landon Road  
Overland Park, KS 66204  
P: 913.666.0000

KEY PLAN

REVISION

**Final Plan Submission**  
February 1, 2016

REVISION

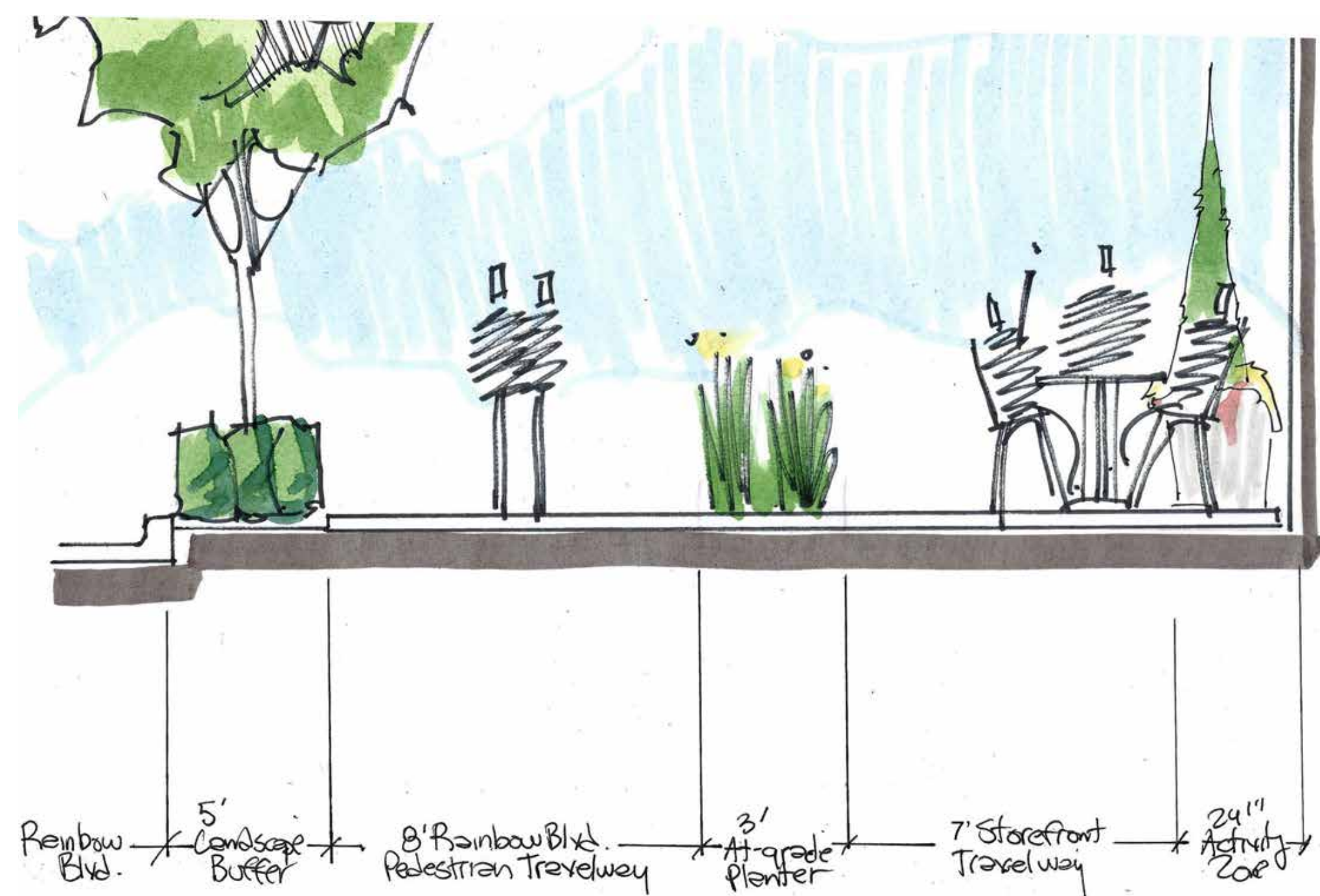
NO. DATE

REVISION

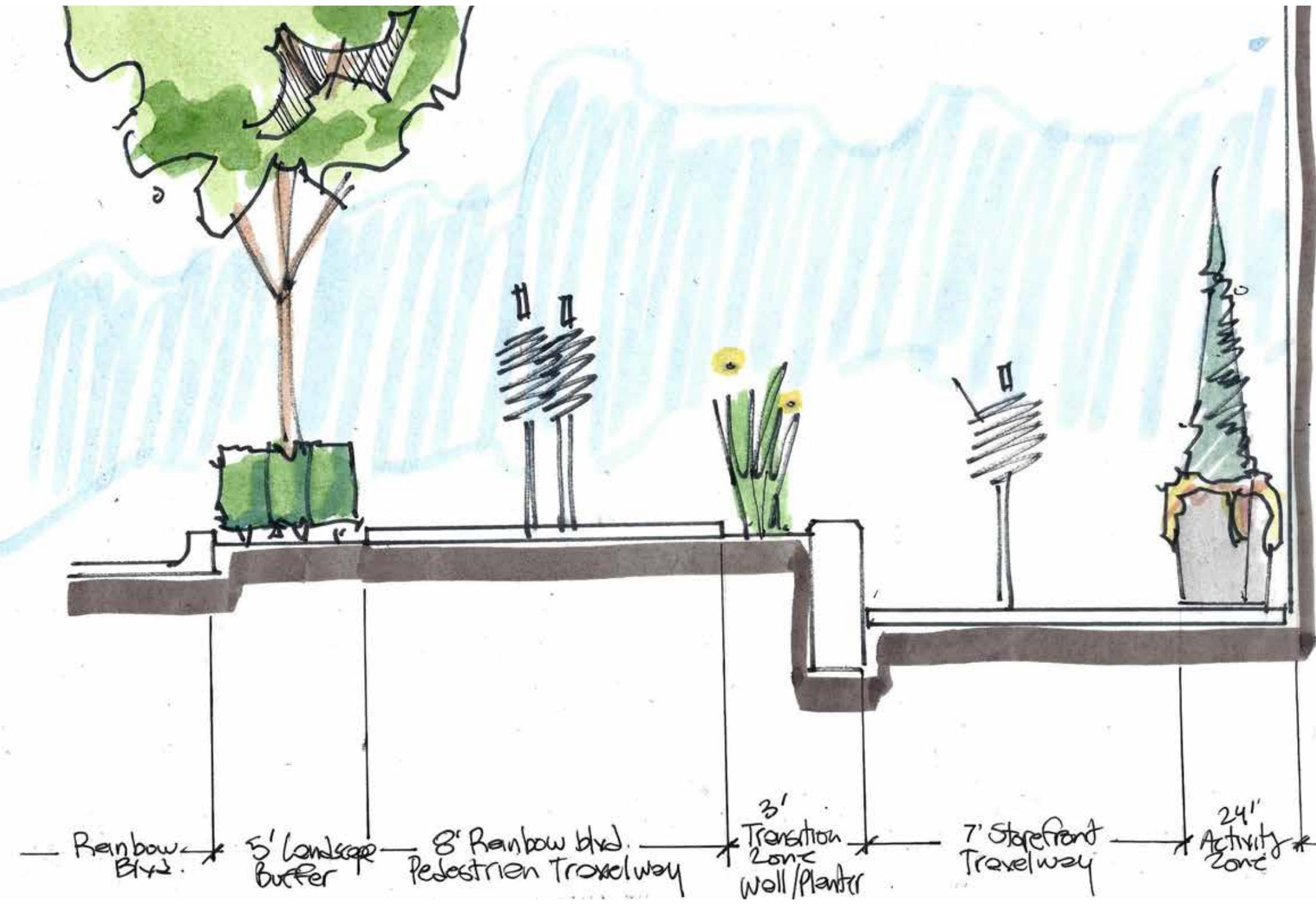




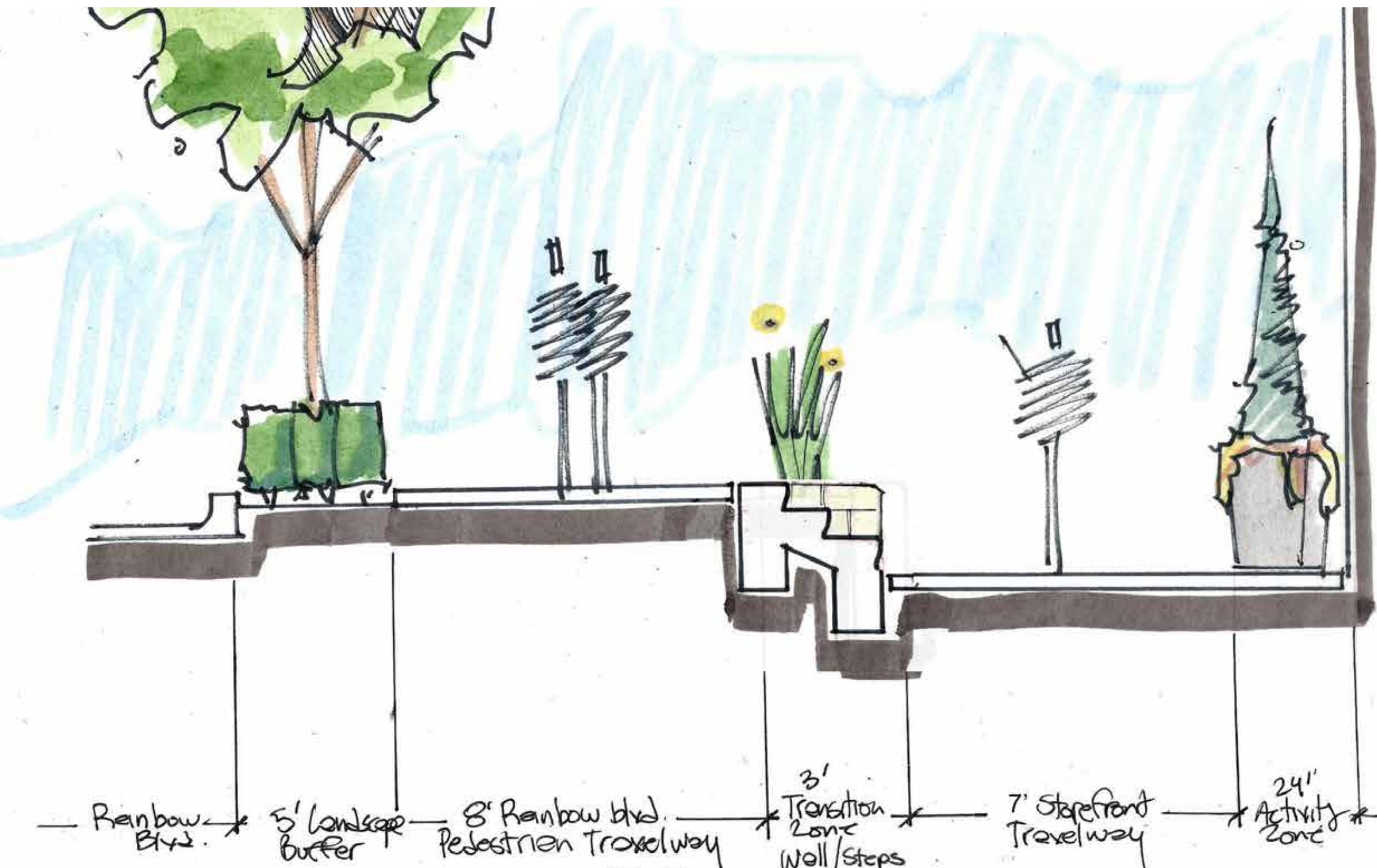




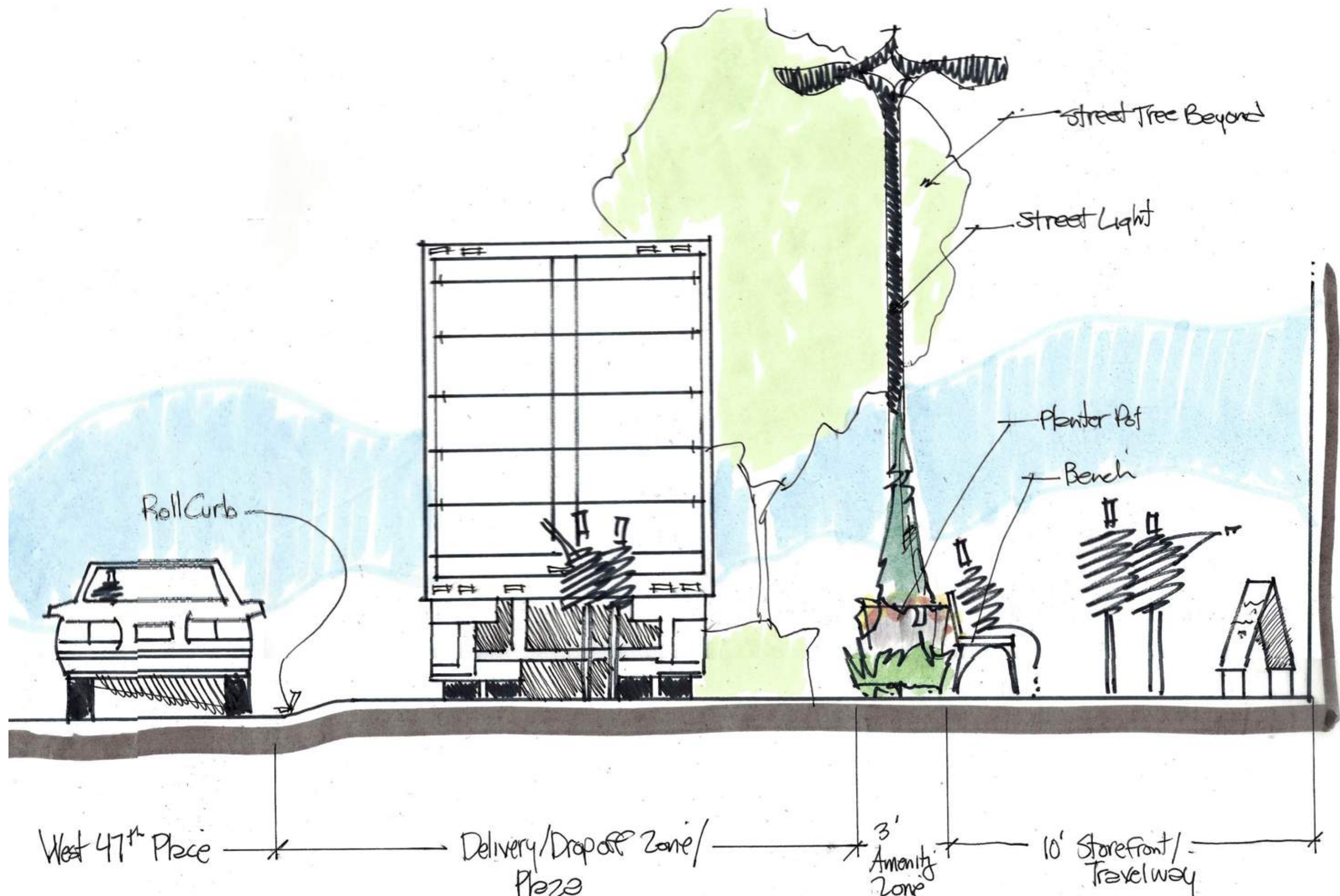
**S1 - Rainbow Streetscape Section @ Grade**  
Scale: 3/8"=1'-0"



**S2 - Rainbow Streetscape Section @ Retaining Wall**  
Scale: 3/8"=1'-0"



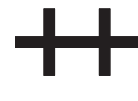
**S3 - Rainbow Streetscape Section @ Steps**  
Scale: 3/8"=1'-0"



**S4 - 47th Place Loading Zone/Plaza Option**  
Scale: 3/8"=1'-0"



**Woodside Village South - Streetscape Concept Sections**



**PROJECT INFORMATION:**  
**Woodside Village South**  
W 47th Place  
Westwood, KS 66205

**OWNER:**  
**TANNER AND WHITE PROPERTIES**  
1000 Avenue of the Stars  
Los Angeles, CA 90007  
www.tannerandwhiteproperties.com

**ARCHITECT:**  
**HUFFT PROJECTS**  
3812 Rainbow Boulevard  
Kansas City, MO 64111  
P: 816.837.0000  
www.hufft.com

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4508 Shawnee  
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P: 816.837.0072

**CIVIL:**  
**OLSSON ASSOCIATES**  
1201 W 80th Parkway, Suite 50  
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**M/E/P:**  
**SMITH AND BOUCHER ENGINEERS**  
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Overland Park, KS 66204  
P: 913.650.0000

**LANDSCAPE ARCHITECT:**  
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18475 Landon Road  
Overland Park, KS 66204  
P: 913.650.0000

**KEY PLAN:**

**REVISION:**  
**Final Plan Submission**  
**February 1, 2016**

**REVISIONS:**

**NO.** **DATE** **REVISION**

1. 2/1/2016

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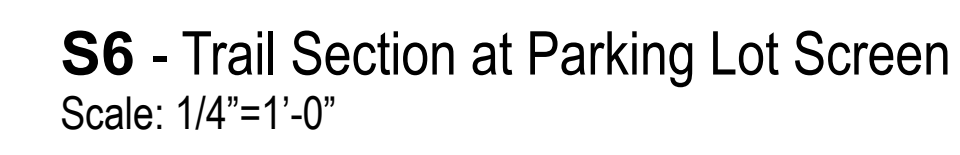
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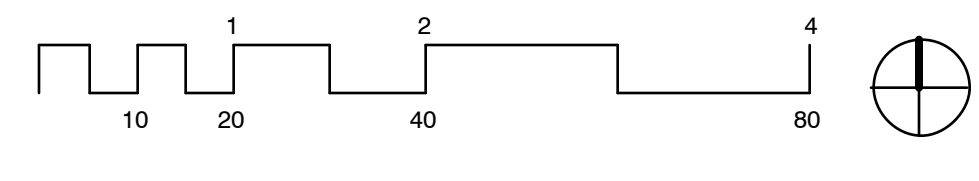








1	Overall Plan Level 1 - 980-10 1" = 20'-0"
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IRON SCHEDULE:	
DATE	ISSUE

OVERALL PLAN - LEVEL 1

## A101



















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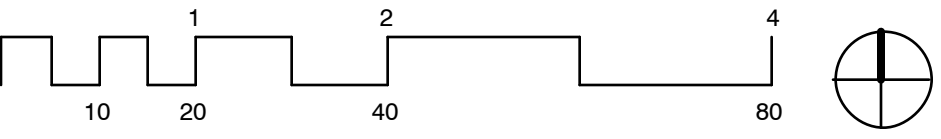
Kenosha Boulevard  
Kenosha, WI 53141  
608-331-2200  
aiff.com

B. D. CAMPBELL  
Bellview  
St. Louis, MO 64111  
314-641-6732

SON ASSOC  
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St. Louis, MO 63116  
636-434-2000

West Valley Parkway  
A, KS 66001

**NORTH**  
Lober Road  
n, 180 64000  
4-376-0215

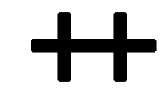


February 1, 2016

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# A106





PROJECT INFORMATION

**Woodside Village South**  
W 47th Place  
Westwood, CA 90025

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OLSSON ASSOCIATES

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Beverly Hills, CA 90211  
P: 310-207-0000

LANDSCAPE ARCHITECT

SMITH AND BOUCHER ENGINEERS

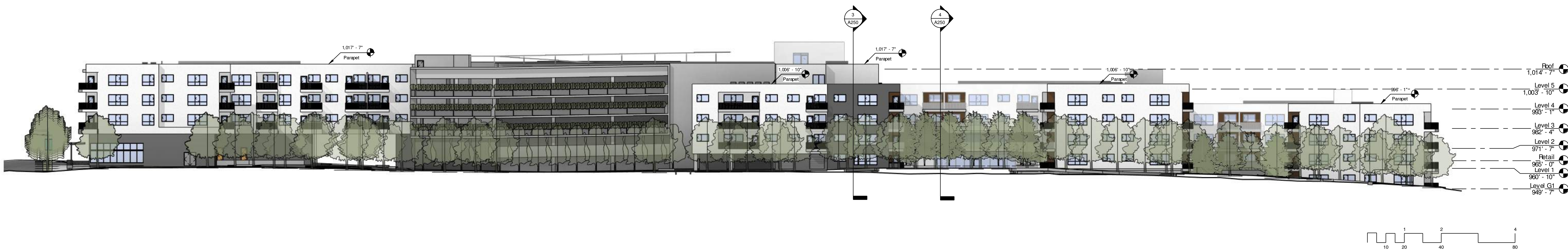
1000 Wilshire Blvd  
Beverly Hills, CA 90211  
P: 310-207-0000

LANDSCAPE ARCHITECT

1000 Wilshire Blvd  
Beverly Hills, CA 90211  
P: 310-207-0000



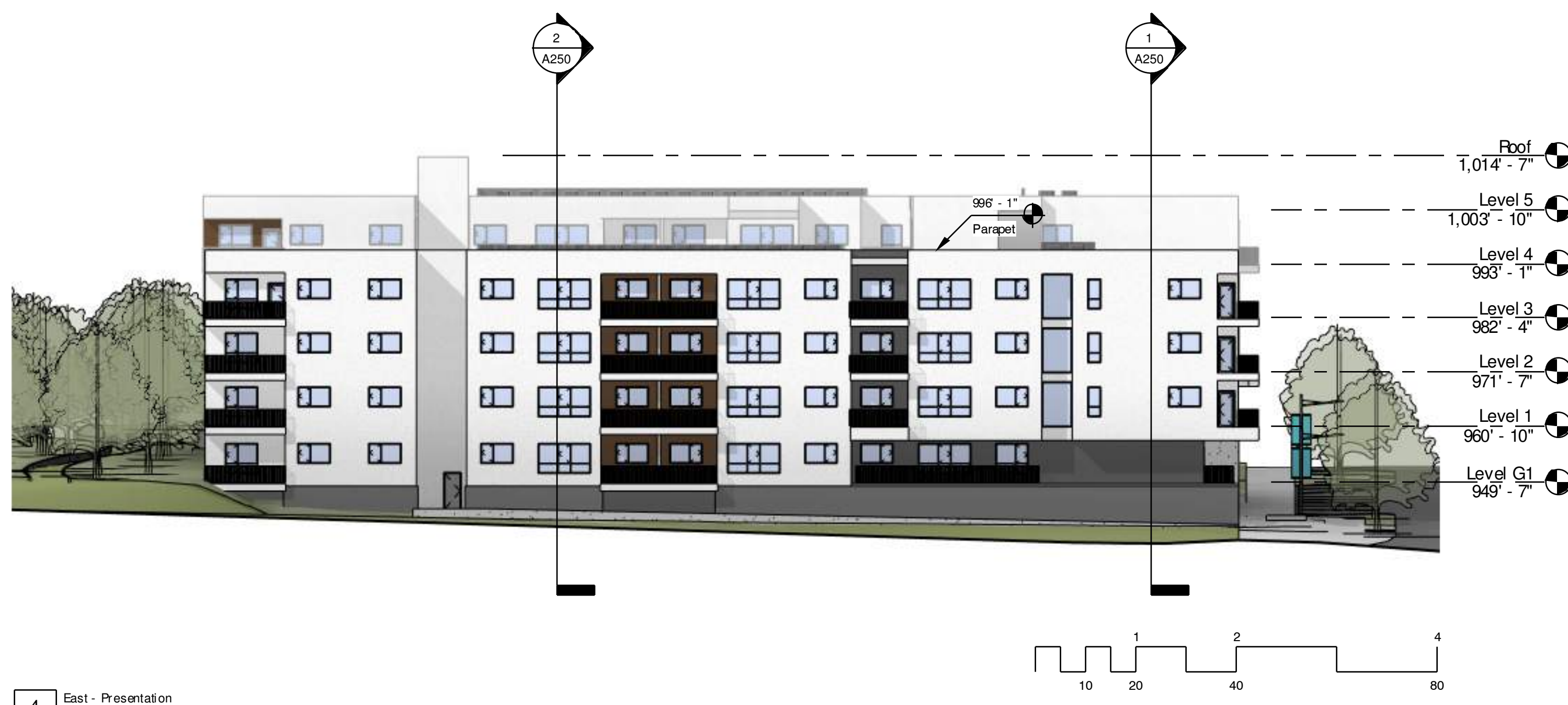
1 North - Presentation  
1" = 20' 0"



2 South - Presentation  
1" = 20' 0"



3 West - Presentation  
1" = 20' 0"



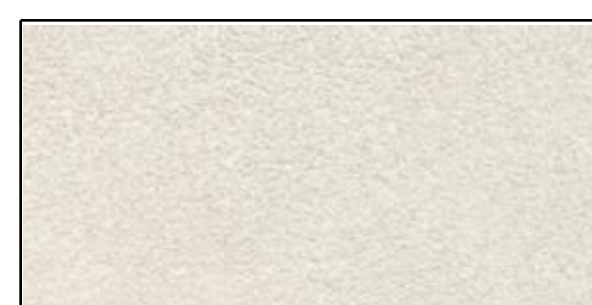
4 East - Presentation  
1" = 20' 0"



Nichiha



Arbor Wood



Stucco - White



Stucco - Gray



Split-face CMU



White Railings

KEY PLAN

ISSUE

Final Plan Submission  
February 1, 2016

REVISIONS

NO. DATE ISSUE

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